

PROJECT DATA

Table with 2 columns: Field Name and Value. Includes Project Address, Property Tax ID Number, Scope of Work, Zoning, Construction Type, Seismic Zone, Number of Stories, Building Height Limit, Lot Area, and Setbacks.

LEGAL DESCRIPTION

ISLAND POINT ADD #2 AND UND INT IN COMMUNITY TR Plat Block: Plat Lot 8

DUTY OF COOPERATION

RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS.

GENERAL NOTES

- 1. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH THE 2018 IRC, 2018 IMC, 2018 IFGC, 2018 UPC, 2018 IPMC, 2020 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES, ORDINANCES, AND COVENANTS OF THE JURISDICTION WHERE IT IS BUILT.
2. DIMENSIONS: DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
3. DOCUMENT REVIEW/VERIFICATION: CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS.

EXISTING WALL INSULATION

EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION WHILE MAINTAINING CODE REQUIRED VENTILATION CLEARANCES. 2X4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2X6 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-21.

PROJECT TEAM

Table with 2 columns: Role and Name/Contact. Lists Owner, Architect, Structural, Arborist, Surveyor, and Geotech.

SHEET INDEX

Table with 3 columns: Sheet ID, Description, and Detail ID. Lists sheets A1.0 through A4.3.

ENERGY NOTES

Table with 2 columns: Item and Description. Lists notes for Code, Climate Zone, Space Heat Type, Insulation Values, Thermal Standards, Air Infiltration, Moisture Control, Ventilation, Heating & Cooling, Temp. Control, Duct Insulation, and Lighting.

GROSS FLOOR AREA

Table with 2 columns: Category and Area. Shows Existing and Proposed Residence GFA, Existing and Proposed GFA, and Proposed GFA.

LOT COVERAGE

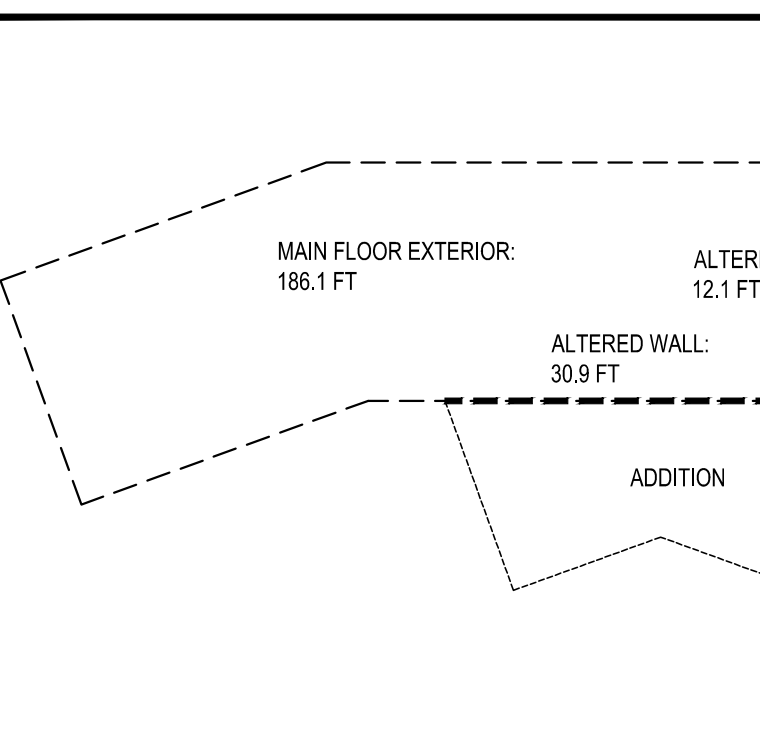
Table with 4 columns: Lot Coverage, Existing Coverage, Proposed Coverage, and Net Change. Lists Main Roof Structure, Sheds, Driveway/Parking, Total Lot Coverage, Total Allowed Lot Coverage, and % Lot Coverage.

HIGHEST EL: +314.9'
LOWEST EL: +283.5'
ELEVATION DIFFERENCE= 31.4'
31.4' DIVIDED BY 157.75' (HORIZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = .199
LOT SLOPE IS 19.9%, WHICH IS GREATER THAN 15% BUT LESS THAN 30%. SO LOT COVERAGE ALLOWED IS 35%.

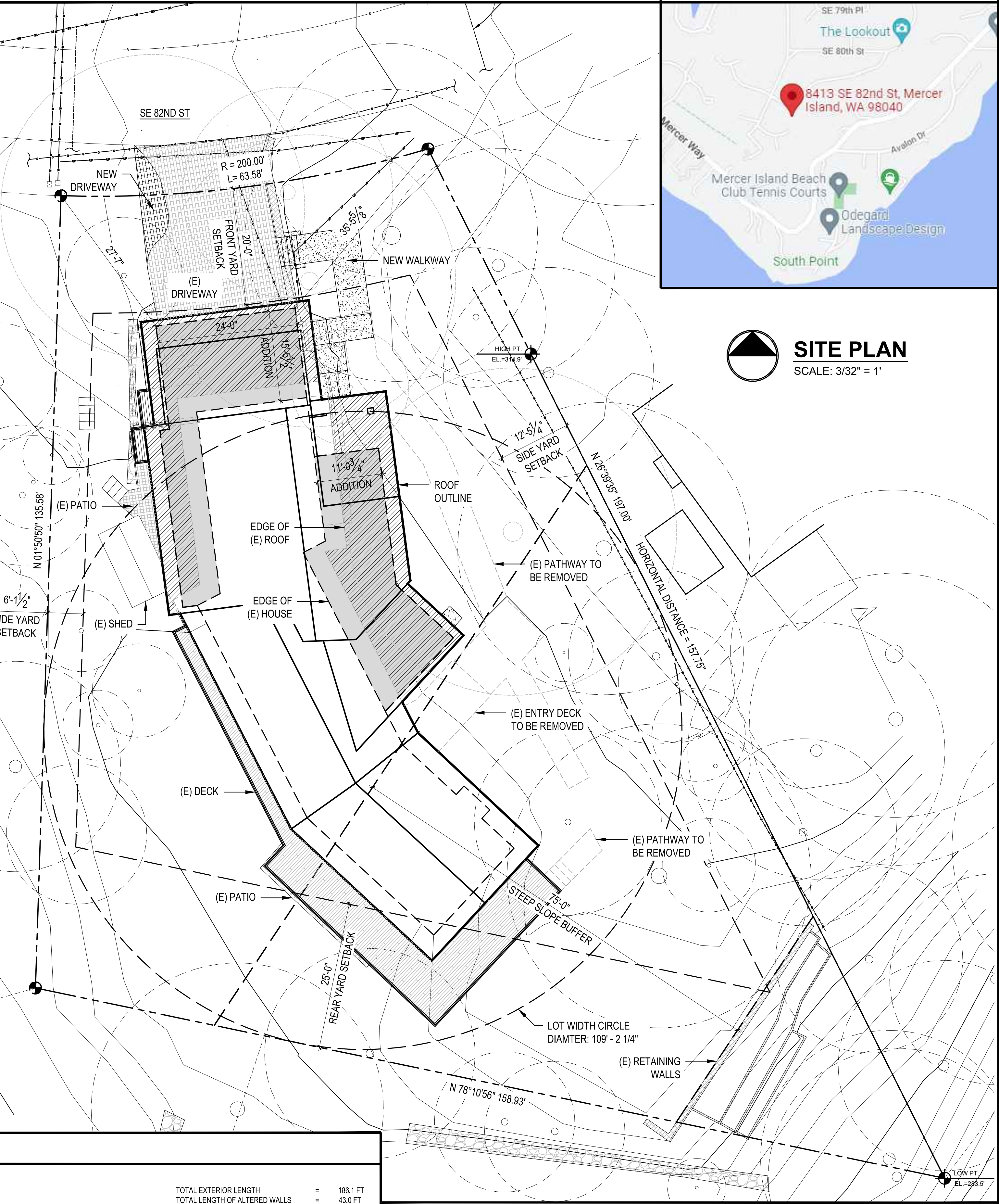
HARDSCAPE

Table with 4 columns: Hardscape, Existing, Proposed, and Net Change. Lists Walkways, Stairs, Rockeries/Retaining Walls, Uncovered Patios, Uncovered Decks, Total Hardscape, Hardscape Allowed, and % Hardscape.

40% RULE DIAGRAM



SITE PLAN

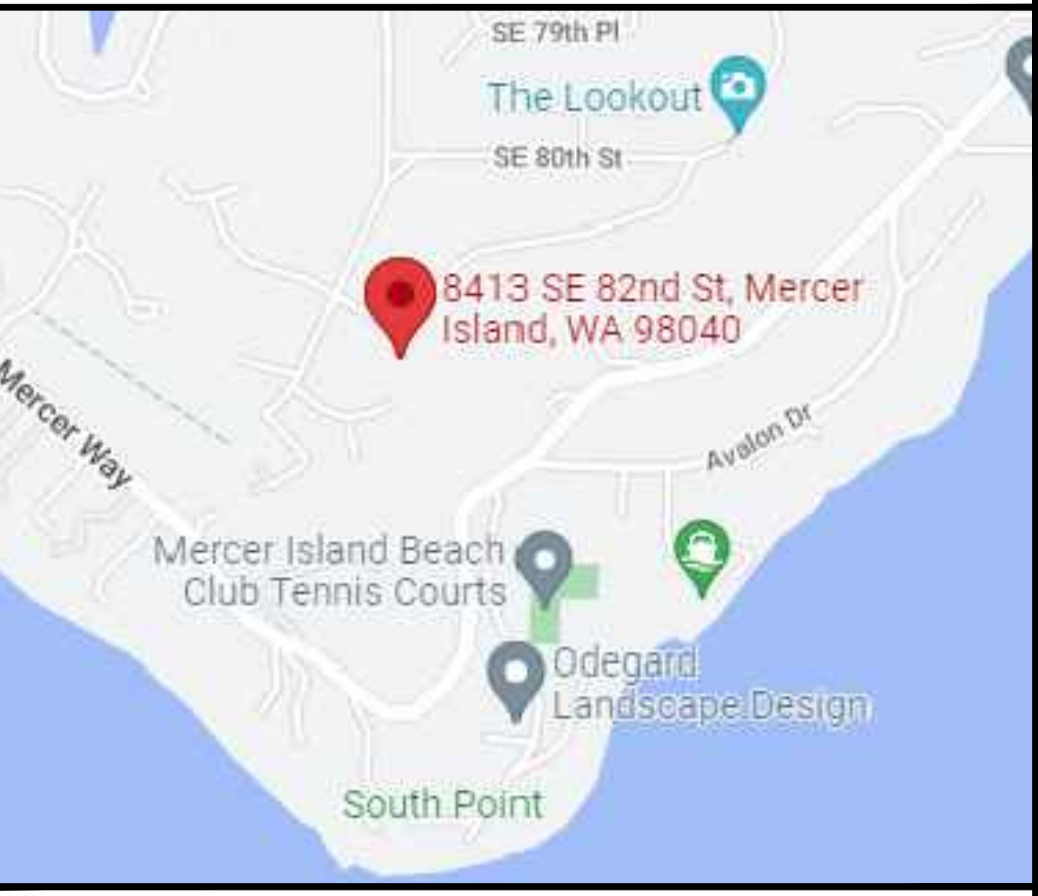


BUILDING AREA

Table with 6 columns: Category, Lower Floor, Main Floor, Upper Floor, Heated Sub-Total, Attached Garage, and Grand Total. Shows existing and proposed square footage.

Table with 2 columns: Metric and Value. Shows Total Exterior Length, Total Length of Altered Walls, Percentage of Alterations, and Percentage of (E) Wall to Remain.

VICINITY MAP



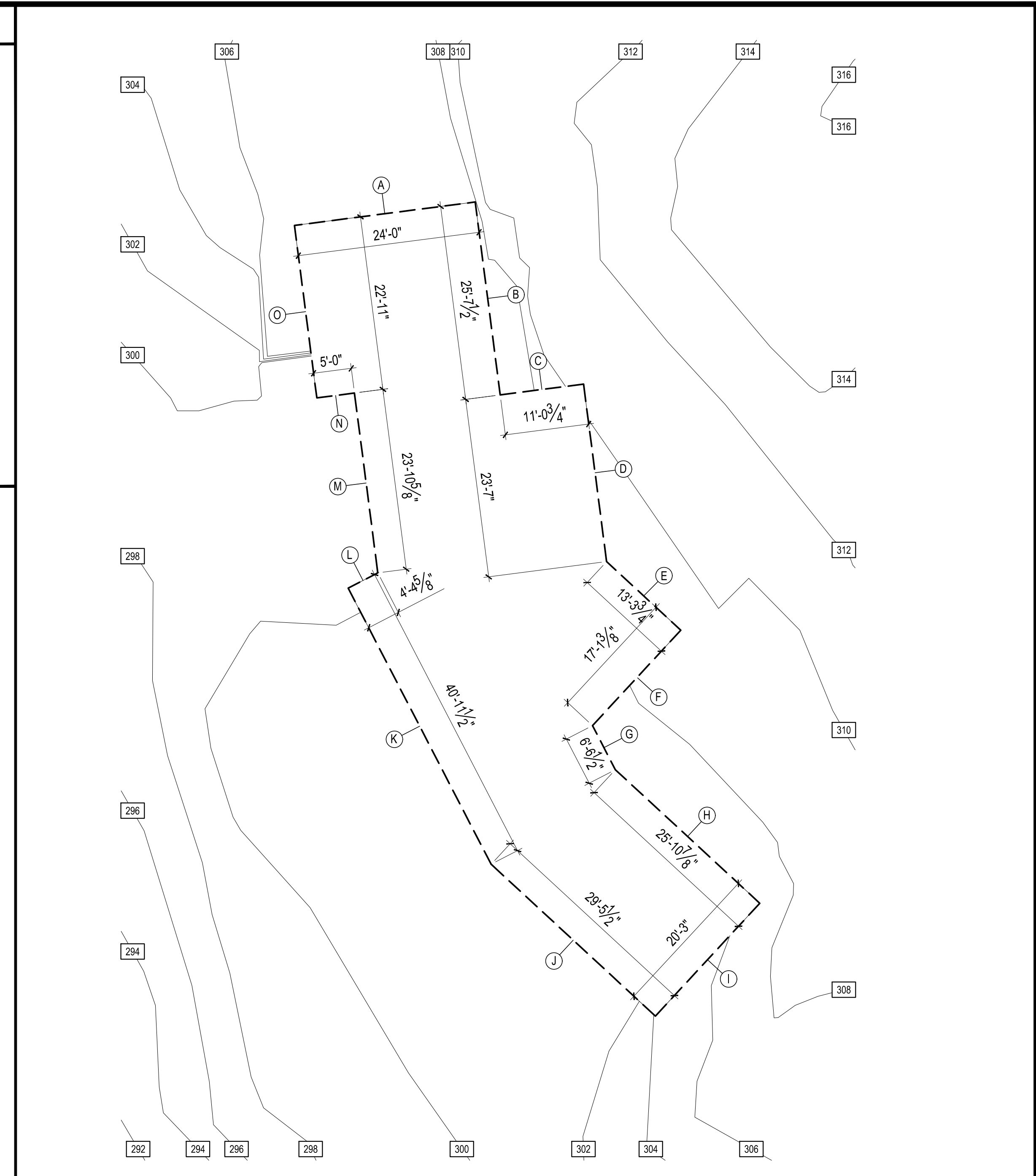
SITE PLAN SCALE: 3/32" = 1'

Vertical sidebar containing Sturman Architects logo, contact information (9-103rd Ave NE Suite 203, Bellevue, WA 98004), project name (RAWSON REMODEL), address (8413 SE 82ND ST, MERCER ISLAND, WA 98040), sheet title (SITE PLAN), revision table, plot date (2/29/2024), drawn by (JM), checked by (BJS), and sheet number (A1.0).

WHOLE HOUSE VENTILATION

BEDROOMS	6
HEATED SQUARE FOOTAGE	5,713.6 SF
CFM = (0.01 * 5713.6 SF) + (7.5 * (5+1 BEDROOMS))	
AIRFLOW (CFM)	102.1 CFM MIN.

- WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY ERV/HRV W/ INTEGRAL FANS, PROVIDING MIN. 103 CFM RUNNING CONTINUOUSLY PER 2018 IRC TABLES M1505.4.3 (1&2). FAN SHALL BE LESS THAN .35 WATT PER CFM AND RUN CONTINUOUSLY, AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.
- SYSTEM SHALL HAVE A 9" SMOOTH FRESH AIR DUCT W/ LOUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS. ALL SUPPLY DUCTS IN CONDITIONED SPACE SHALL BE INSULATED TO MIN. R-4 PER IRC M1507.3.5.2.
- SHALL HAVE A FILTER WITH A MERV OF AT LEAST 8 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.
- FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN. 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.
- AIRFLOW FOR WHOLE HOUSE VENTILATION FAN SHALL BE PROVIDED BY UNDERCUTTING INTERIOR DOORS 1/2" ABOVE FINISHED FLOOR, TYP.
- WHOLE HOUSE VENTILATION SHALL BE TESTED, BALANCED AND VERIFIED AND A WRITTEN REPORT SHALL BE POSTED AND PROVIDED THE BUILDING OFFICIAL AND CERTIFICATION COMPLETED PER WSEC SECTIONS M1505.4.1.8 AND M1505.4.1.7.
- AN EXHAUST FAN WHOLE HOUSE VENTILATION IS NOT ALLOWED WITH AN ERV SYSTEM.
- HRV/ERV SHALL HAVE A MINIMUM HRE OF .80



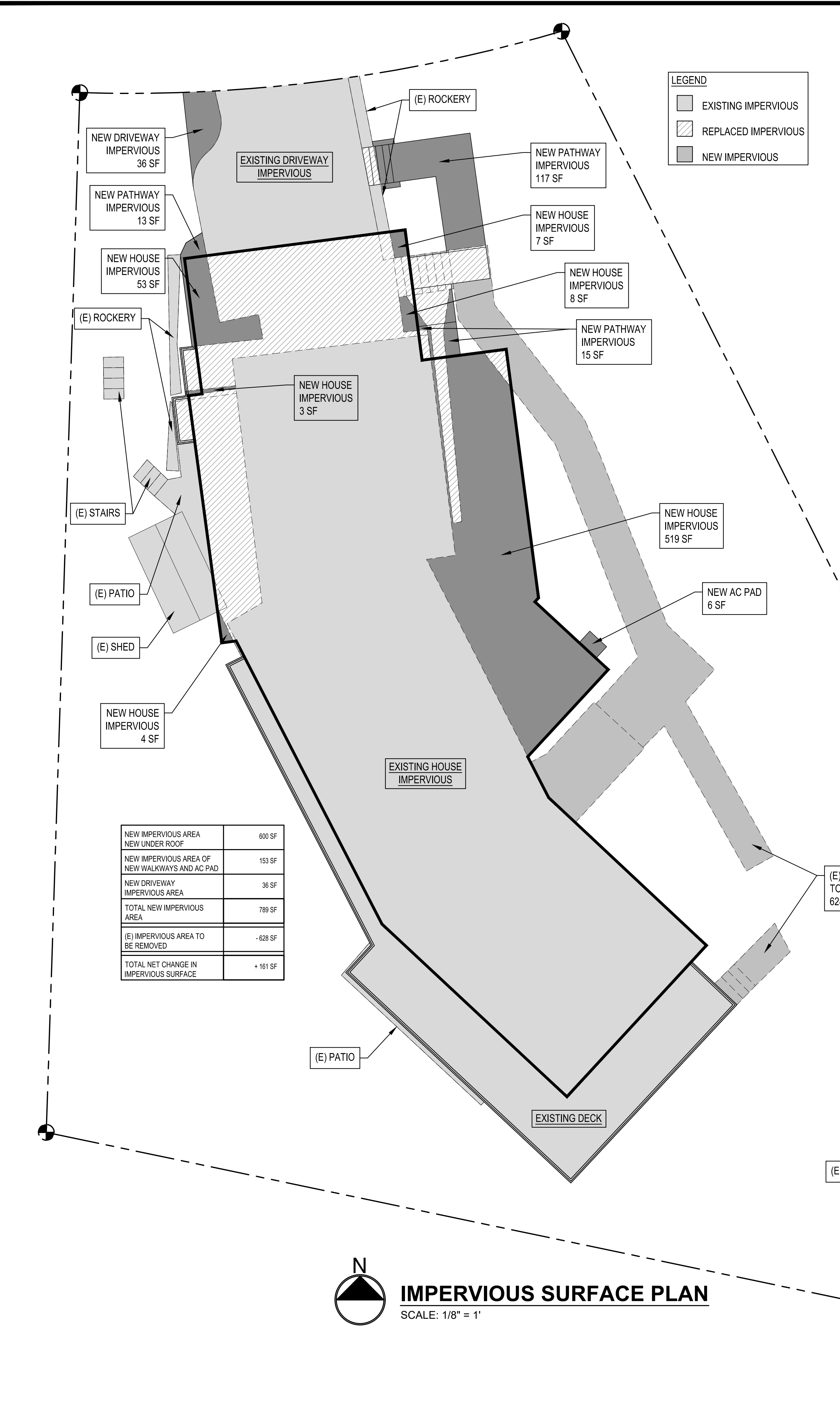
A.B.E. CALCULATIONS

AVERAGE BUILDING ELEVATION			
	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	24.00	307.20	7372.80
B	25.60	307.80	7879.68
C	11.10	308.70	3426.57
D	23.60	309.10	7294.76
E	13.30	308.40	4101.72
F	17.10	308.20	5270.22
G	6.50	307.20	1996.80
H	25.90	307.20	7956.48
I	20.30	305.70	6205.71
J	29.50	301.80	8903.10
K	41.00	301.40	12357.40
L	4.40	300.00	1320.00
M	23.90	300.00	7170.00
N	5.00	300.00	1500.00
O	22.90	306.20	7011.98
	294.10	4578.90	89767.22
	89767.22	305.23	Average Building Elevation
	294.10		

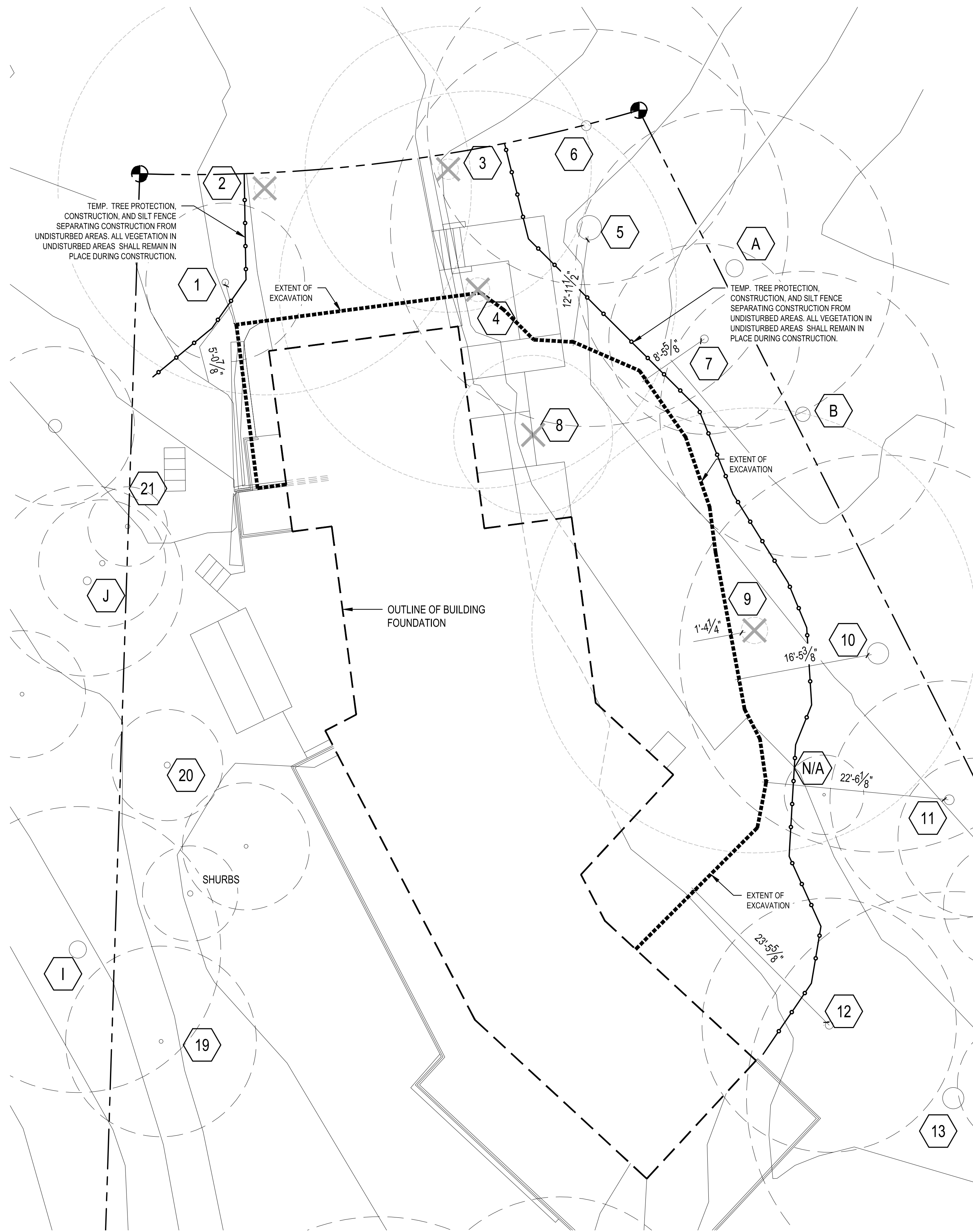
2018 WSEC CREDITS

CREDITS REQUIRED:
 ADDITIONS MORE THAN 1,500 SF BUT LESS THAN 5,000 SF.
 2,425.5 SF NEW CONDITIONS SPACE 6.0 CREDITS
 TOTAL CREDITS REQUIRED 6.0 CREDITS

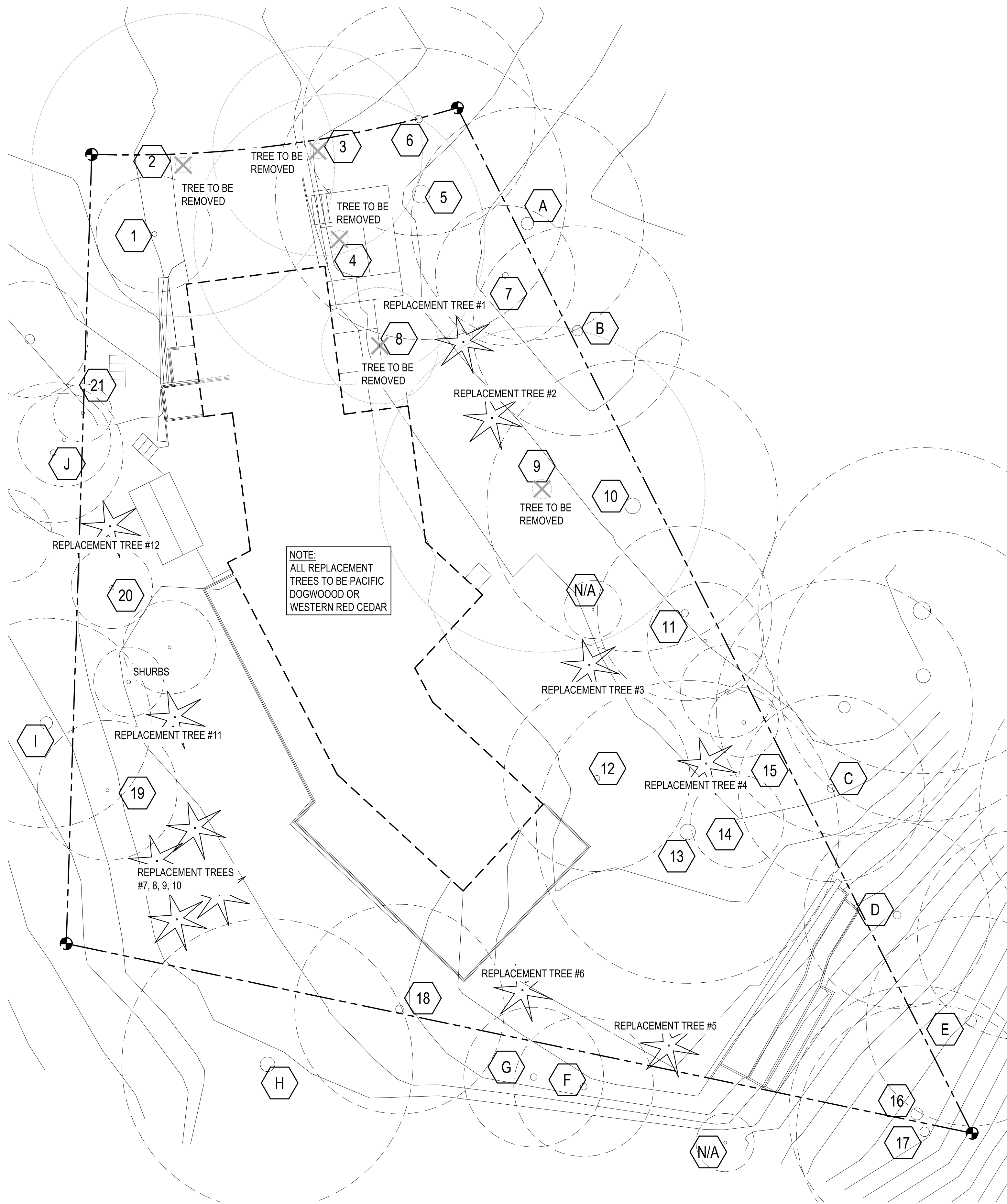
CREDITS	OPTION	DESCRIPTION
1.0	1	HEAT PUMP
0.5	1.3	VERTICAL FENESTRATION U=28 FLOOR R-38 OR R-10 FOR SLAB ON GRADE
1.5	3.4	HIGH EFFICIENCY HVAC
0.5	4.1	HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM
2.0	5.5	EFFICIENT WATER HEATING
0.5	7.1	APPLIANCE PACKAGE
TOTAL CREDITS SELECTED 6.0		



IMPERVIOUS SURFACE PLAN
 SCALE: 1/8" = 1'



EXCAVATION PLAN
SCALE: 1/8" = 1'



TREE PLAN
SCALE: 3/32" = 1'

**EXCAVATION PLAN
TREE PLAN**

REVISIONS:	
PLOT DATE:	2/29/2024
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING #20130730002745)

LOT 8, ISLAND POINT NO. 2, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 79 OF PLATS, PAGE(S) 18 AND 19, IN KING COUNTY, WASHINGTON.

BASIS OF BEARINGS

N 83°59'24" E BETWEEN FOUND CENTERLINE MONUMENTATION ALONG SE 82ND ST - CALCULATED PER R1

REFERENCES

R1. ISLAND POINT NO. 2 PLAT, VOL. 79, PG. 18, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #4360
DB ID: 47498
ELEV: 299.86

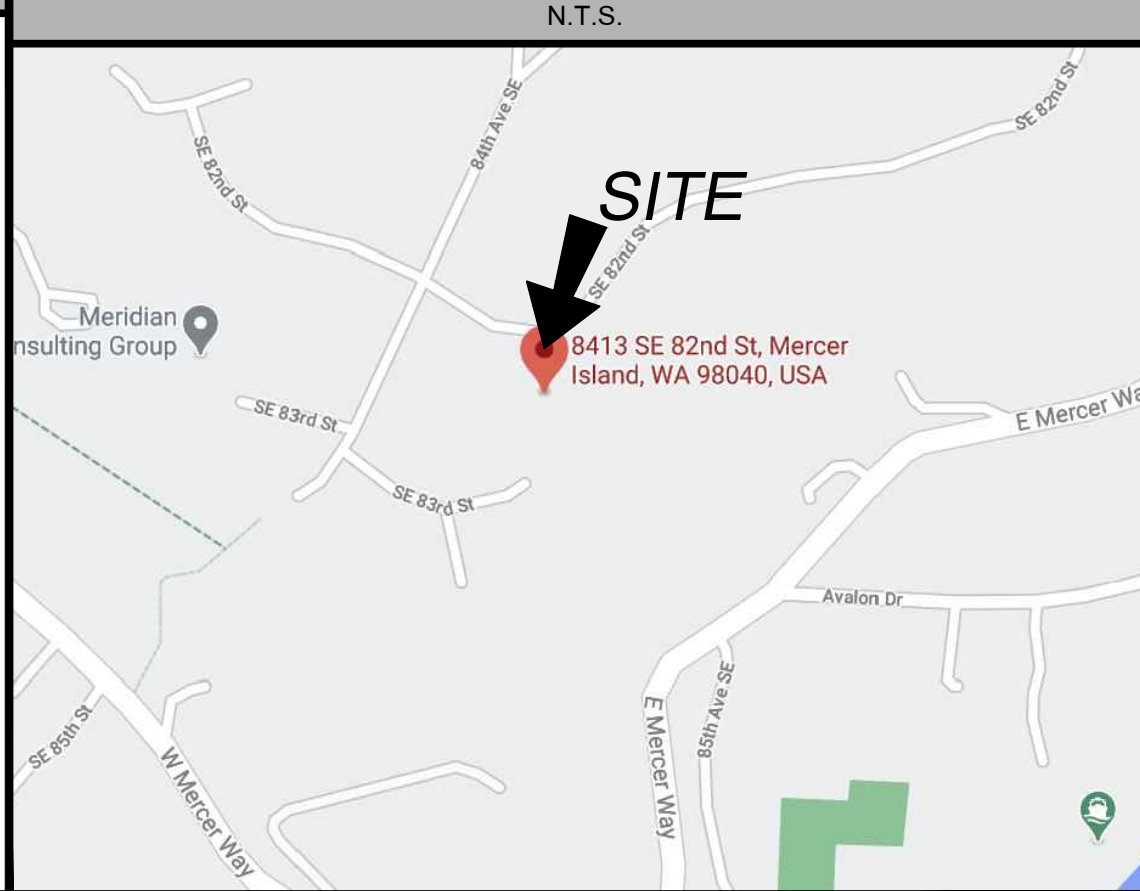
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MARCH OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 3625600080.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 16,386± S.F. (0.38 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	AREA DRAIN		NAIL AS NOTED
	ASPHALT SURFACE		MONUMENT IN CASE (FOUND)
	BRICK SURFACE		PAVER SURFACE
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (UNDERGROUND)
	CONCRETE SURFACE		REBAR AS NOTED (FOUND)
	RETAINING WALL		ROCKERY
	DECK		SEWER LINE
	FENCE LINE (CHAIN LINK)		SEWER MANHOLE
	FENCE LINE (WOOD)		STORM DRAIN LINE
	GAS LINE		TELEPHONE SENTRY
	GAS METER		TREE (AS NOTED)
	INLET (TYPE 1)		WATER LINE
	IRON PIPE (FOUND)		WATER METER
	LUMINAIRE		AC UNIT
	STEEP SLOPE AREA		

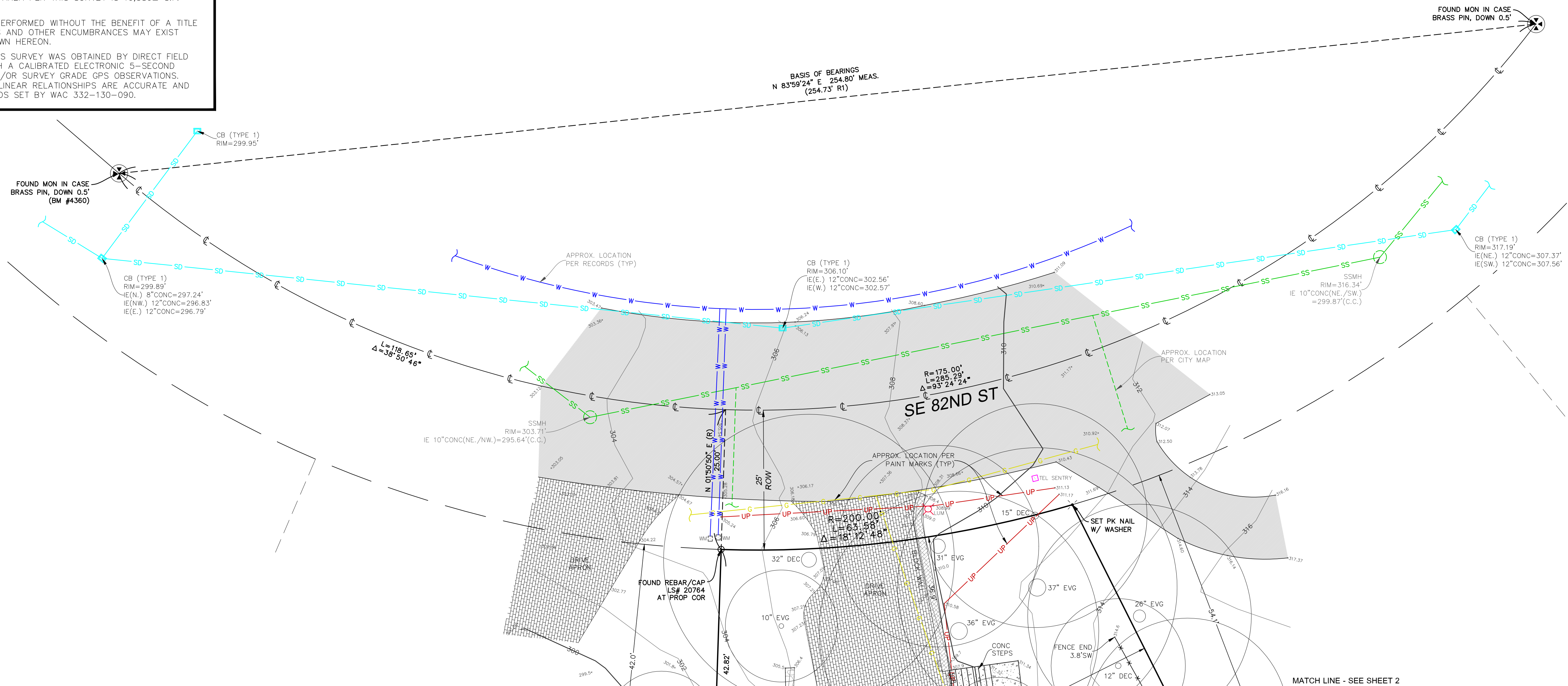
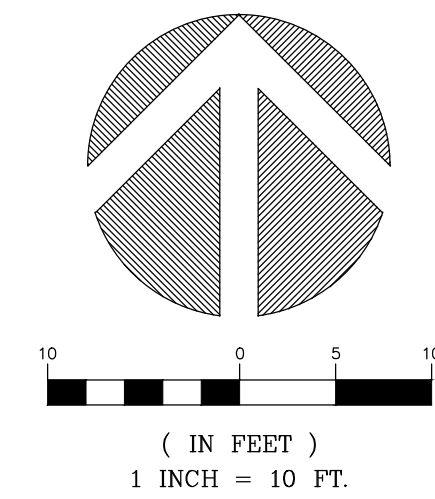
VICINITY MAP



STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

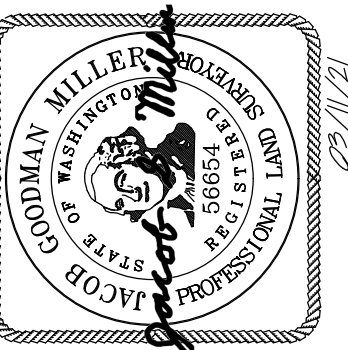
INDEXING INFORMATION	
	NW 1/4 NW 1/4
	SECTION: 31
	TOWNSHIP: 24N
	RANGE: 05E, W.M.
	COUNTY: KING



TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 3625600080
RAWSON RESIDENCE

8413 SE 82ND ST
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER: 210217
DATE: 03/11/21
DRAFTED BY: RSN
CHECKED BY: JGM/CSP
SCALE: 1" = 10'

REVISION HISTORY

NO.	DESCRIPTION

SHEET NUMBER

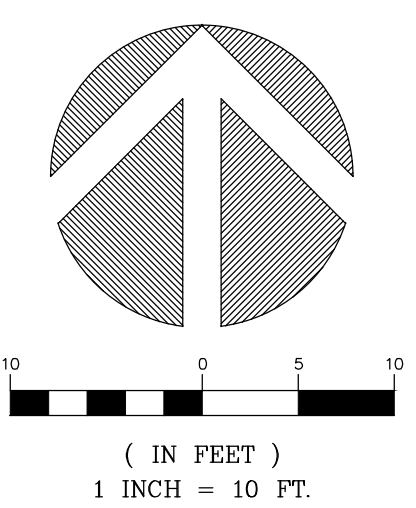
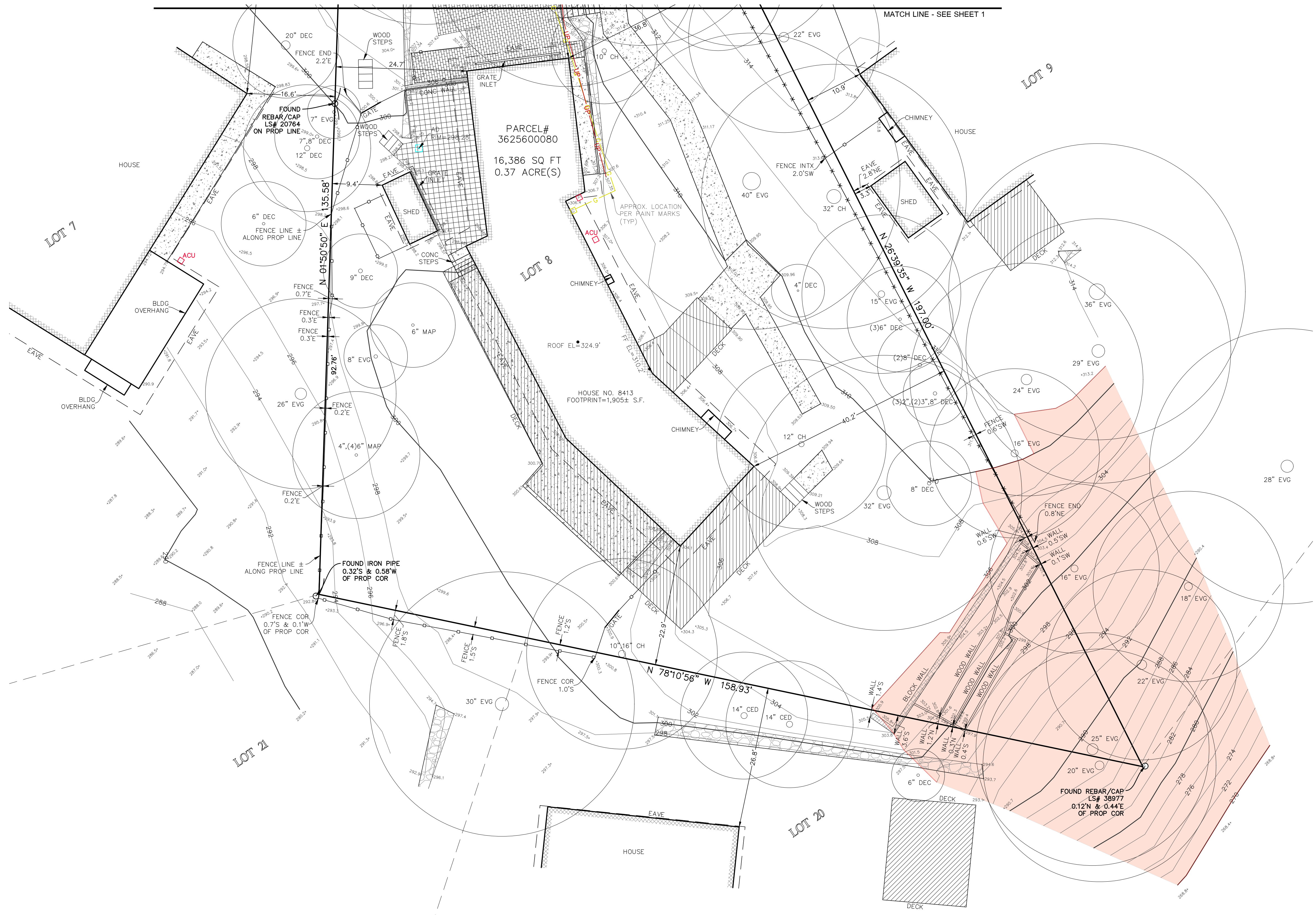
1 OF 2

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

INDEXING INFORMATION			
	NW 1/4	NW 1/4	
	SECTION: 31		
	TOWNSHIP: 24N		
	RANGE: 05E, W.M.		
	COUNTY: KING		

LEGEND			
	AREA DRAIN		NAIL AS NOTED
	ASPHALT SURFACE		MONUMENT IN CASE (FOUND)
	BRICK SURFACE		PAVER SURFACE
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (UNDERGROUND)
	CONCRETE SURFACE		REBAR AS NOTED (FOUND)
	RETAINING WALL		ROCKERY
	DECK		SEWER LINE
	FENCE LINE (CHAIN LINK)		SEWER MANHOLE
	FENCE LINE (WOOD)		STORM DRAIN LINE
	GAS LINE		TELEPHONE SENTRY
	GAS METER		TREE (AS NOTED)
	INLET (TYPE 1)		WATER LINE
	IRON PIPE (FOUND)		WATER METER
	LUMINAIRE		AC UNIT
	STEEP SLOPE AREA		



STEEP SLOPE/BUFFER DISCLAIMER:
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TOPOGRAPHIC & BOUNDARY SURVEY

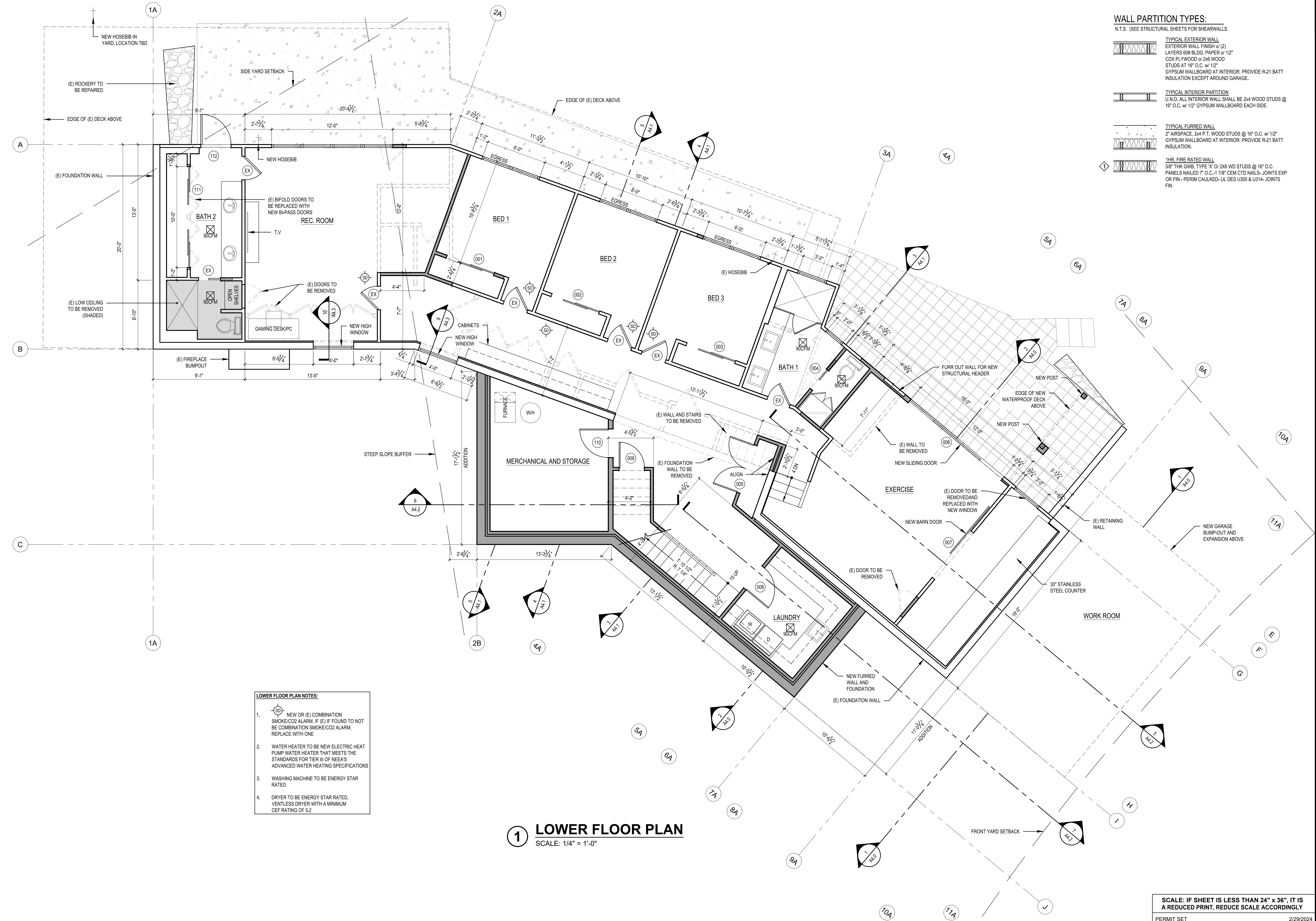
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JOB NUMBER:	210217
DATE:	03/11/21
DRAFTED BY:	RSN
CHECKED BY:	JGM/CSP
SCALE:	1"= 10'

REVISION HISTORY	

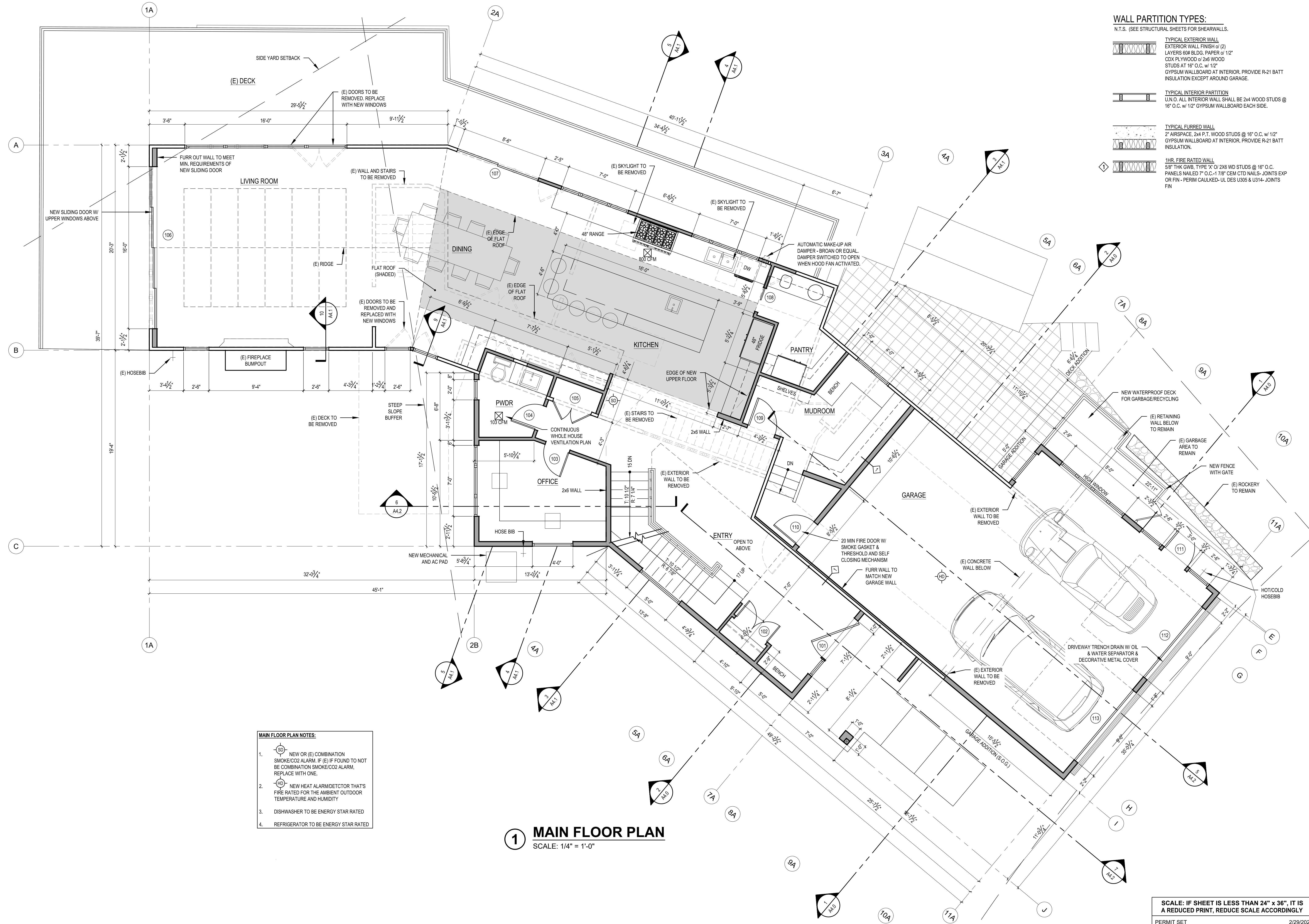


- WALL PARTITION TYPES:**
 N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)
- TYPICAL EXTERIOR WALL**
 EXTERIOR WALL FINISH OF (2) LAYERS 5/8" BLDG. PAPER OF 1/2" CDX PLYWOOD OF 2x6 WOOD STUDS AT 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION EXCEPT AROUND GARAGE.
 - TYPICAL INTERIOR PARTITION**
 U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD EACH SIDE.
 - TYPICAL FURRED WALL**
 2" AIRSPACE. 2x4 P.T. WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.
 - 1HR. FIRE RATED WALL**
 5/8" THK GWB. TYPE X-0 2X6 WD STUDS @ 16" O.C. PANELS NAILED 7" O.C.-1 7/8" CEM CTD NAILS- JOINTS EXP OR FIN - PERM CALKULKED-UL DES U305 & U314- JOINTS FIN

- LOWER FLOOR PLAN NOTES:**
- NEW OR (E) COMBINATION SMOKE/CO2 ALARM. IF (E) IF FOUND TO NOT BE COMBINATION SMOKE/CO2 ALARM, REPLACE WITH ONE
 - WATER HEATER TO BE NEW ELECTRIC HEAT PUMP WATER HEATER THAT MEETS THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATIONS
 - WASHING MACHINE TO BE ENERGY STAR RATED
 - DRYER TO BE ENERGY STAR RATED, VENTLESS DRYER WITH A MINIMUM CEF RATING OF 5.2

1 LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 2/29/2024



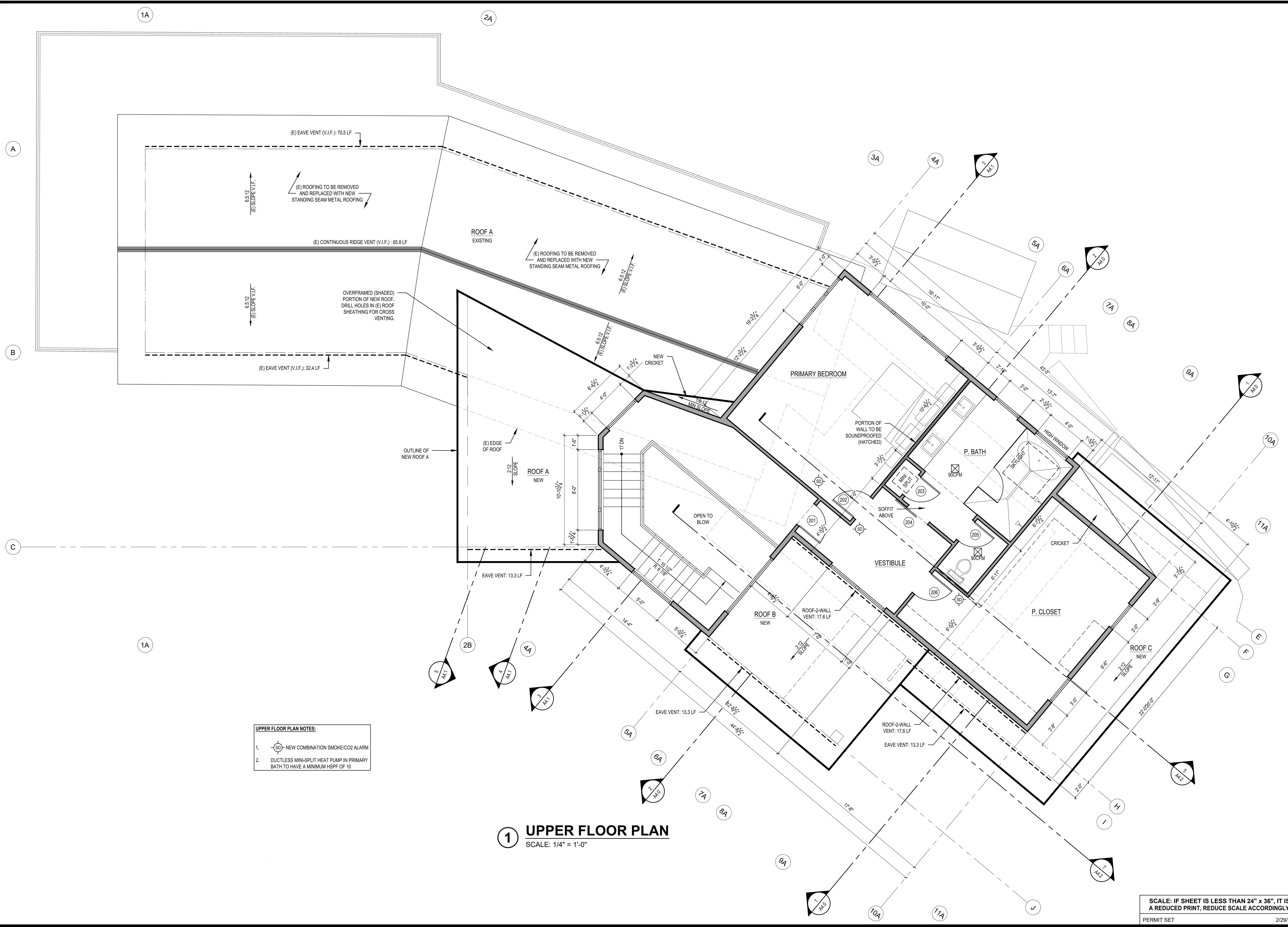
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 - 1HR. FIRE RATED WALL**
 5/8" THK GWB, TYPE 'X' O/ 2x6 WD STUDS @ 16" O.C. PANELS NAILED 7" O.C.-1 7/8" CEM CTD NAILS- JOINTS EXP OR FIN - PERIM CALKULKED-UL DES U305 & U314- JOINTS FIN

- MAIN FLOOR PLAN NOTES:**
- NEW OR (E) COMBINATION SMOKE/CO2 ALARM. IF (E) IF FOUND TO NOT BE COMBINATION SMOKE/CO2 ALARM, REPLACE WITH ONE.
 - NEW HEAT ALARM/DETECTOR THAT'S FIRE RATED FOR THE AMBIENT OUTDOOR TEMPERATURE AND HUMIDITY
 - DISHWASHER TO BE ENERGY STAR RATED
 - REFRIGERATOR TO BE ENERGY STAR RATED

1 MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 2/29/2024

NO.	DATE	DESCRIPTION

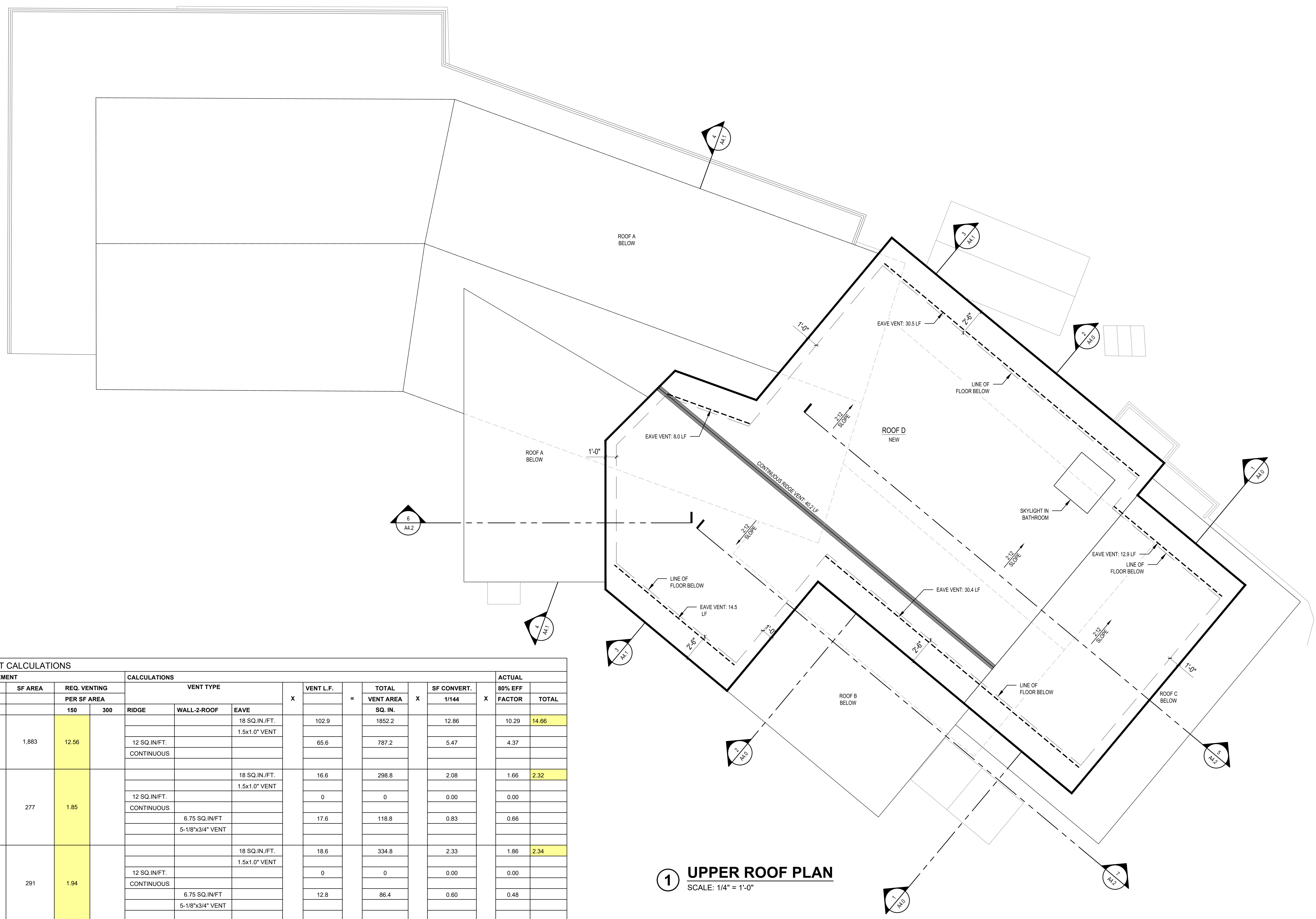


- UPPER FLOOR PLAN NOTES:**
1. (SD) - NEW COMBINATION SMOKE/CO2 ALARM
 2. DUCTLESS MINI-SPLIT HEAT PUMP IN PRIMARY BATH TO HAVE A MINIMUM HSPF OF 10

1 UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 2/29/2024

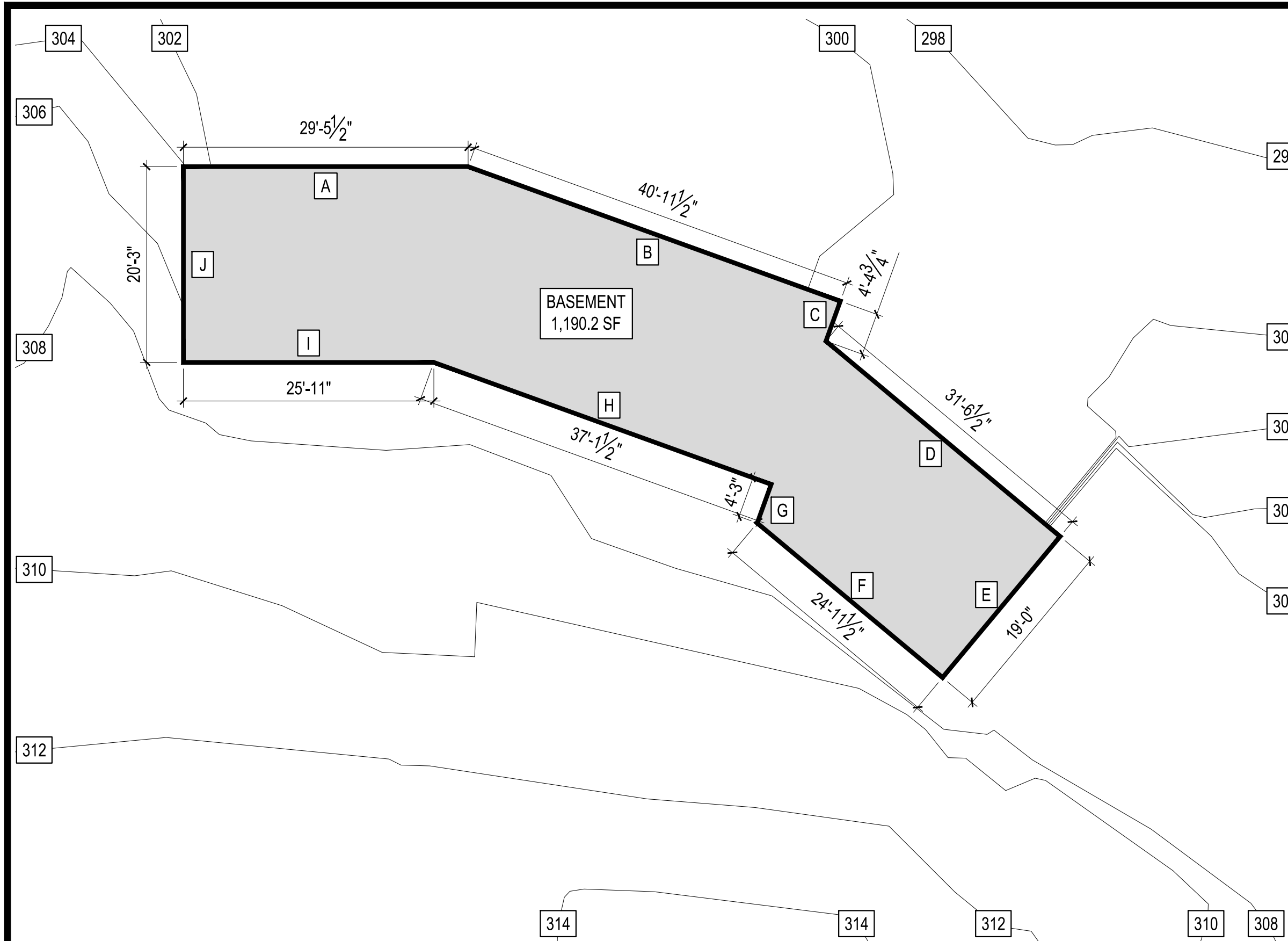
REVISIONS:
 PLOT DATE: 2/29/2024
 DRAWN BY: JM
 CHECKED BY: BJS
 SHEET



1 UPPER ROOF PLAN
 SCALE: 1/4" = 1'-0"

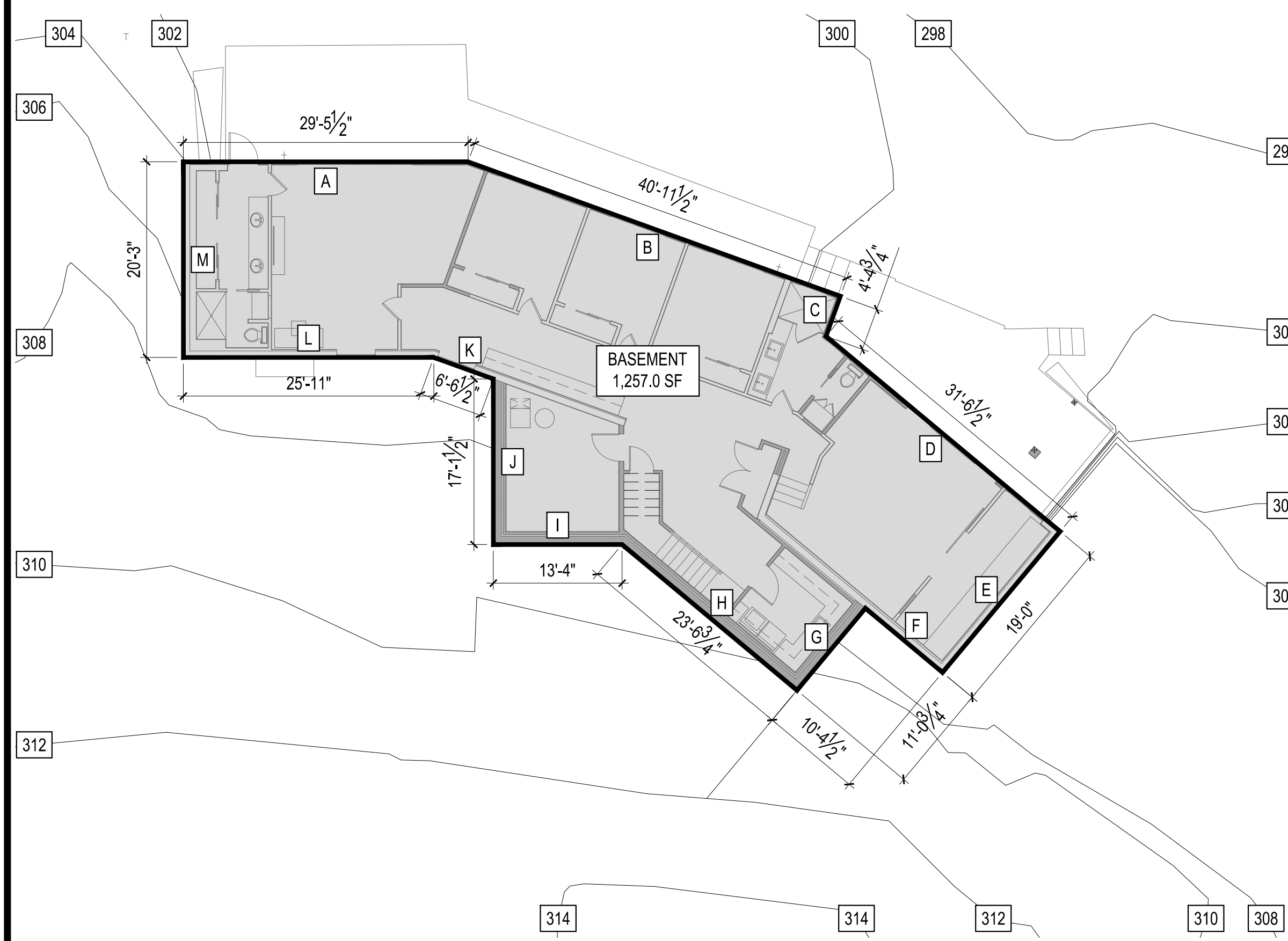
ROOF VENT CALCULATIONS																	
CODE REQUIREMENT			CALCULATIONS						ACTUAL								
DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE			X	VENT L.F.	=	TOTAL VENT AREA SQ. IN.	X	SF CONVERT. 1/144	X	80% EFF FACTOR	TOTAL		
		PER SF AREA	150	300	RIDGE	WALL-2-ROOF										EAVE	
ROOF A	1,883	12.56				18 SQ. IN./FT.	102.9		1852.2		12.86			10.29	14.66		
						1.5x1.0" VENT											
					12 SQ. IN./FT.		65.6		787.2		5.47		4.37				
ROOF B	277	1.85				18 SQ. IN./FT.	16.6		298.8		2.08			1.66	2.32		
						1.5x1.0" VENT											
					12 SQ. IN./FT.		0		0		0.00		0.00				
ROOF C	291	1.94				6.75 SQ. IN./FT	17.6		118.8		0.83			0.66			
						5-1/8"x3/4" VENT											
					18 SQ. IN./FT.		18.6		334.8		2.33		1.86	2.34			
ROOF D	1,573	10.49				1.5x1.0" VENT											
					12 SQ. IN./FT.		40.2		482.4		3.35		2.68				
					6.75 SQ. IN./FT		12.8		86.4		0.60		0.48				
					18 SQ. IN./FT.	96.3		1733.4		12.04			9.63	12.31			
					1.5x1.0" VENT												
					CONTINUOUS												

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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A1 AS BUILT BASEMENT FAR
SCALE: 3/32" = 1'-0"

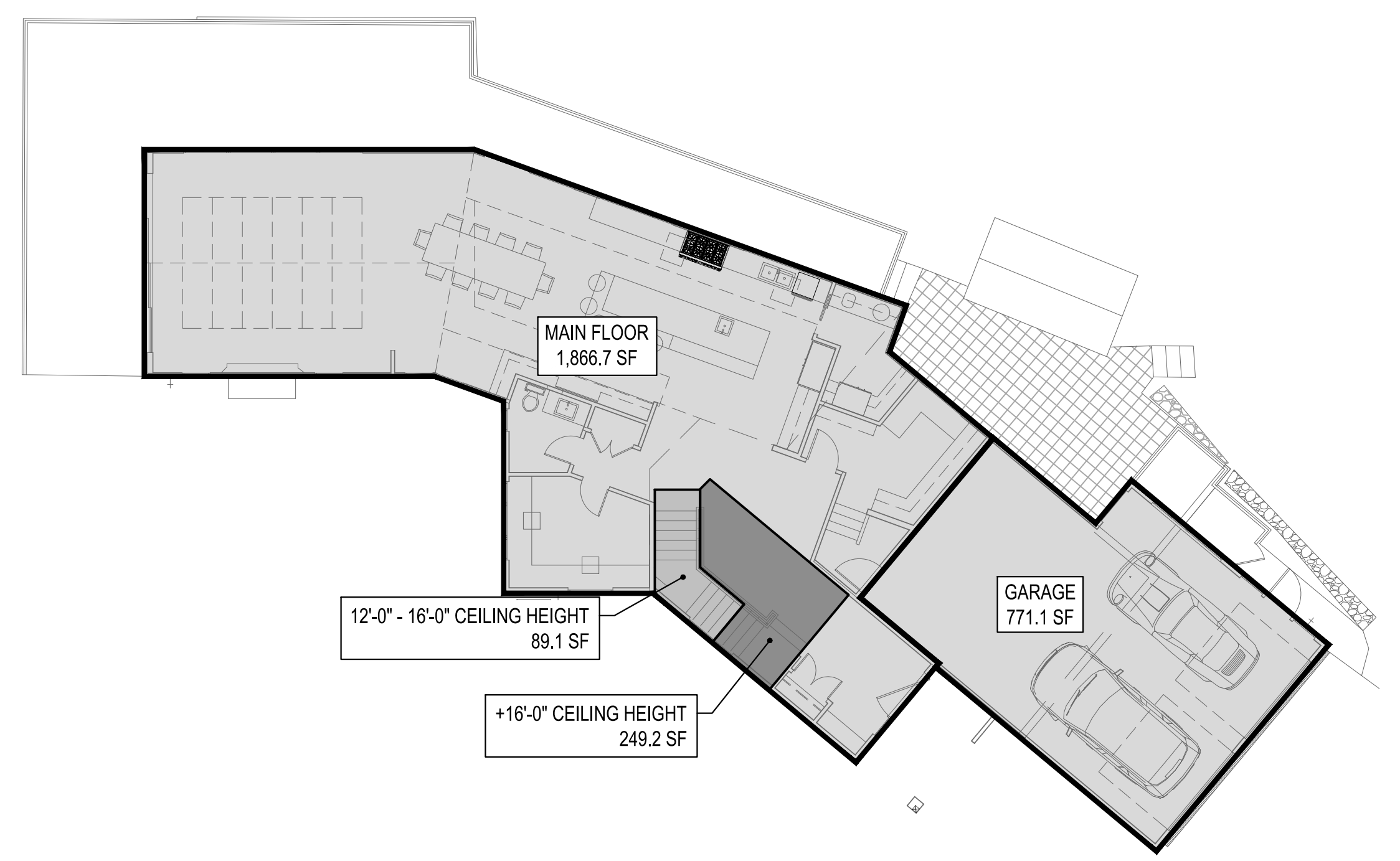
AS BUILT BASEMENT FLOOR AREA CALCULATION			
Basement Floor Area = 1889.2 SF			
Basement Ceiling Height = 8 FT			
SEGMENT	LENGTH	COVERAGE	RESULT
A	38.9	6%	2.2951
B	40.9	0%	0
C	4.4	0%	0
D	31.5	6%	1.79235
E	19	100%	19
F	24.9	51%	12.5745
G	4.3	99%	4.257
H	37.1	65%	24.0779
I	25.9	67%	17.4307
J	20.3	53%	10.71028
	247.2		92.13783
Portion of excluded Basement Floor Area = X SF			
1,889.20	X	92.13783	
		247.2	
1,889.20	X	37%	
699 SF EXCLUDED			
BASEMENT AREA = 1190.2 SF			



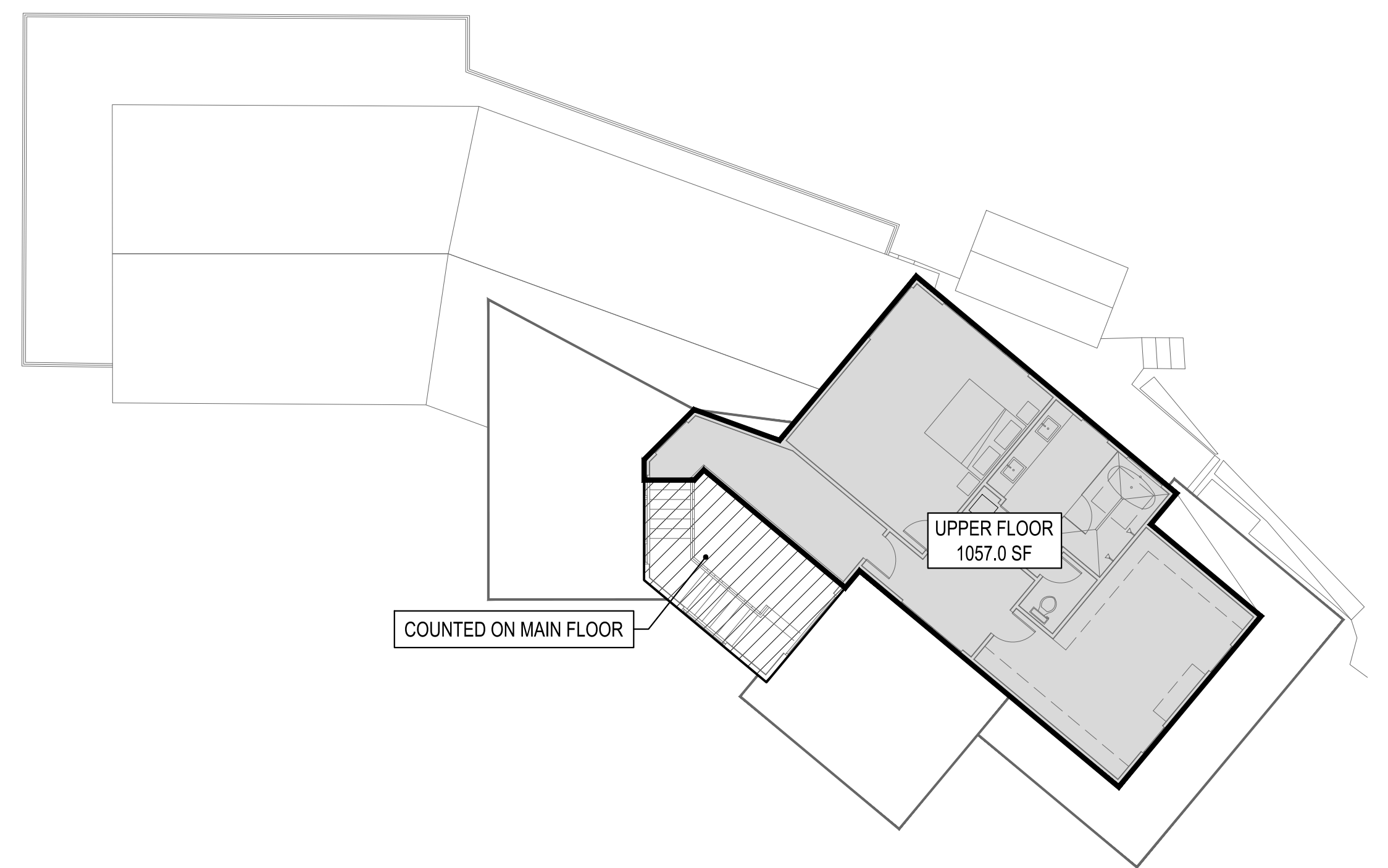
1 BASEMENT FAR
SCALE: 3/32" = 1'-0"

PROPOSED BASEMENT FLOOR AREA CALCULATION			
Basement Floor Area = 2417.4 SF			
Basement Ceiling Height = 8 FT			
SEGMENT	LENGTH	COVERAGE	RESULT
A	38.9	6%	2.2951
B	40.9	0%	0
C	4.4	0%	0
D	31.5	6%	1.79235
E	19	100%	19
F	10.4	100%	10.4
G	11.1	93%	10.2897
H	23.6	96%	22.6678
I	13.3	92%	12.26127
J	17.1	85%	14.5008
K	6.6	65%	4.28274
L	25.9	67%	17.353
M	20.3	53%	10.759
	263		125.60176
Portion of excluded Basement Floor Area = X SF			
2,417.40	X	125.60176	
		263	
2,417.40	X	48%	
1,160.4 SF EXCLUDED			
BASEMENT AREA = 1257.0 SF			

PROPOSED GROSS FLOOR AREA		LOT SIZE	
BASEMENT	1,257.0 SF	LOT SIZE	16,550 SF
MAIN FLOOR	1,866.7 SF	GFA THRESHOLD	= 6,620 SF
THIRD FLOOR	1,057.0 SF	PROPOSED GFA	= 5,290.1 SF
GARAGE	771.1 SF	PROPOSED %GFA COVERAGE	= 31.9%
12-16'-0" CEILING HEIGHT	89.1 SF	PROPOSED GFA IS 5,080.4 SF	OR 31.9%
16'-0" + CEILING HEIGHT	249.2 SF		
TOTAL	5,290.1 SF		

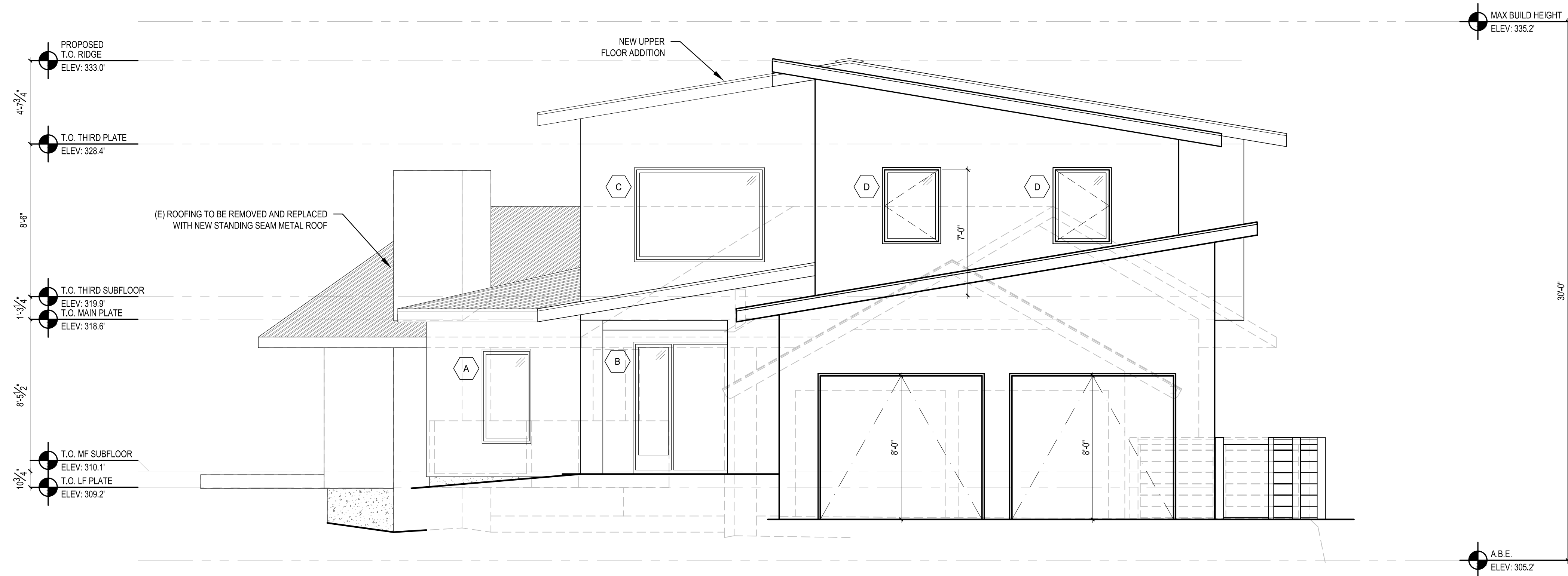


2 MAIN FLOOR FAR
SCALE: 3/32" = 1'-0"

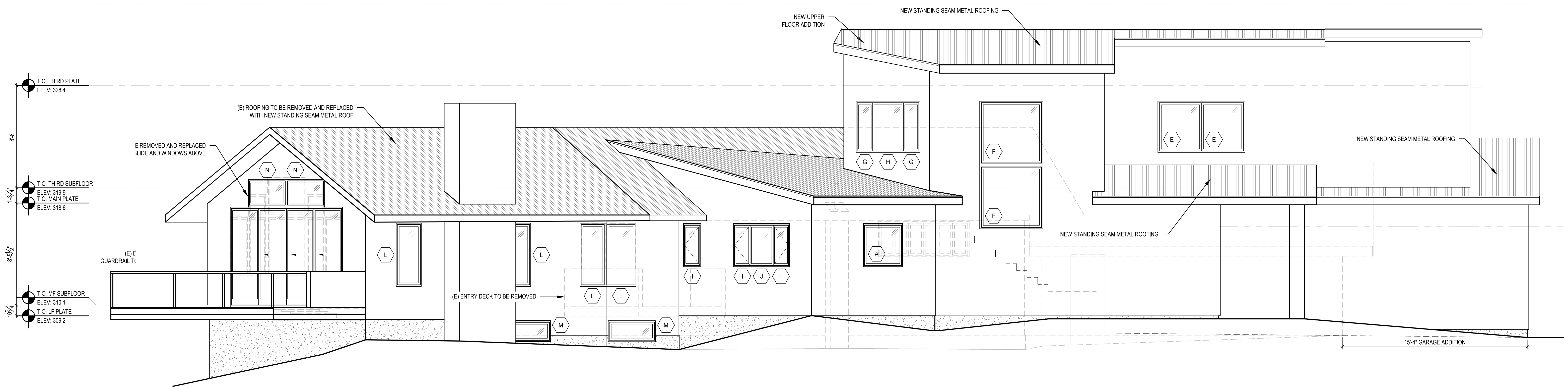


3 UPPER FLOOR FAR
SCALE: 3/32" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 2/29/2024



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATIONS

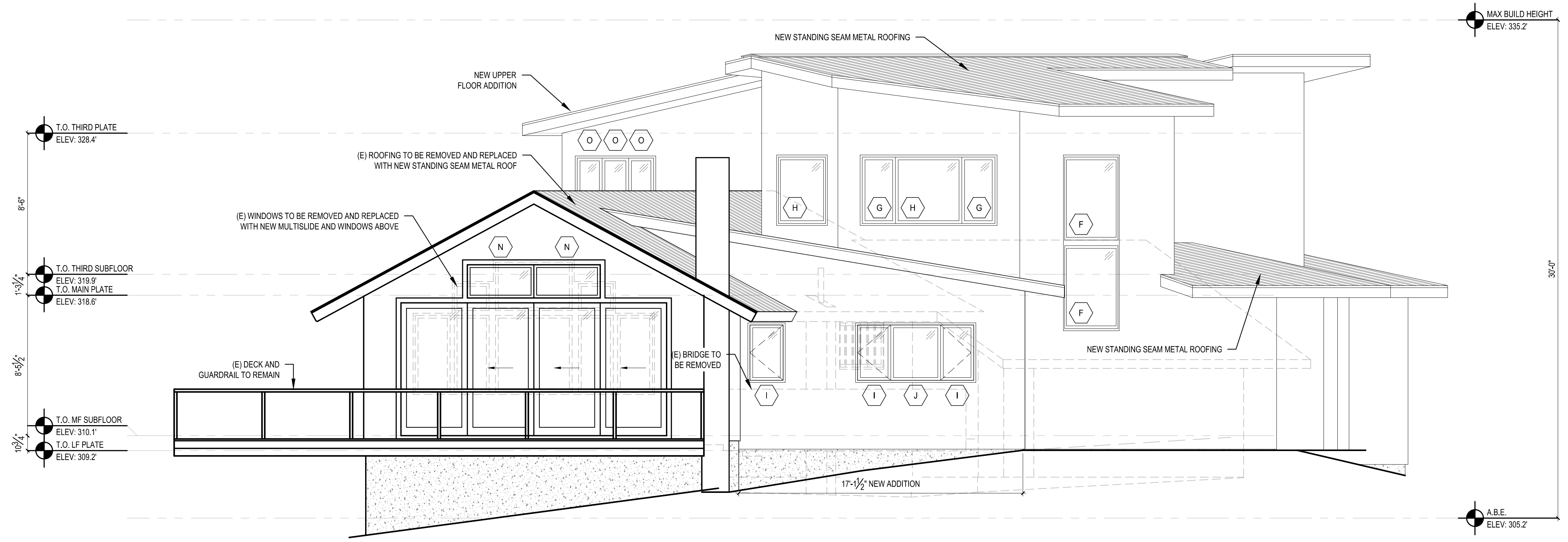
REVISIONS:

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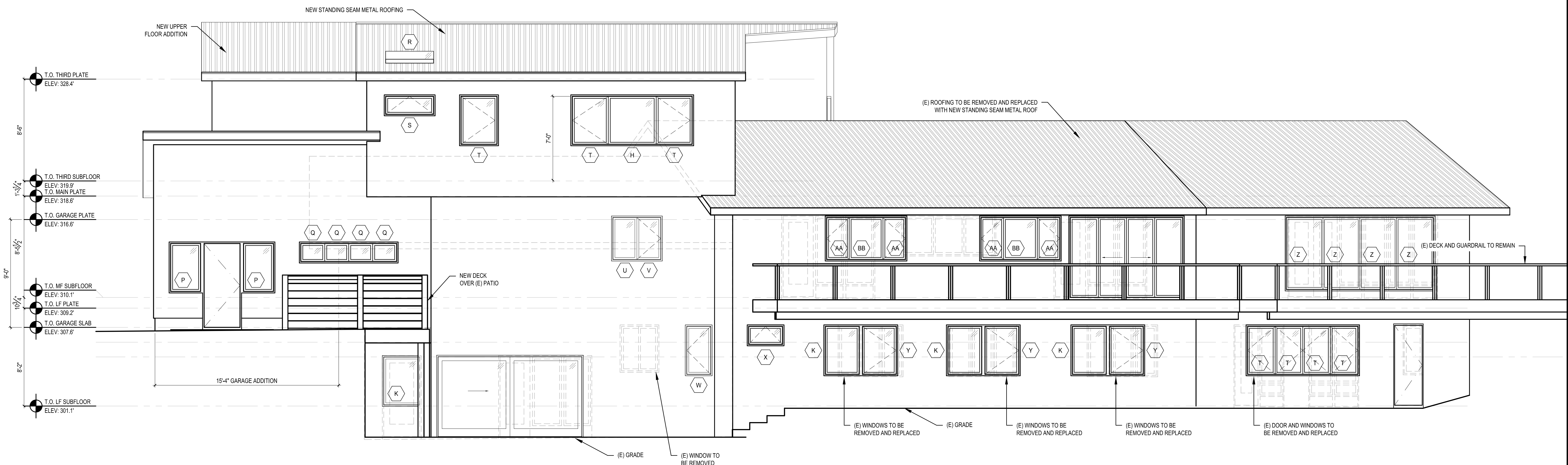
PLOT DATE: 2/29/2024
DRAWN BY: JM
CHECKED BY: BJS

SHEET
A3.0

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 2/29/2024

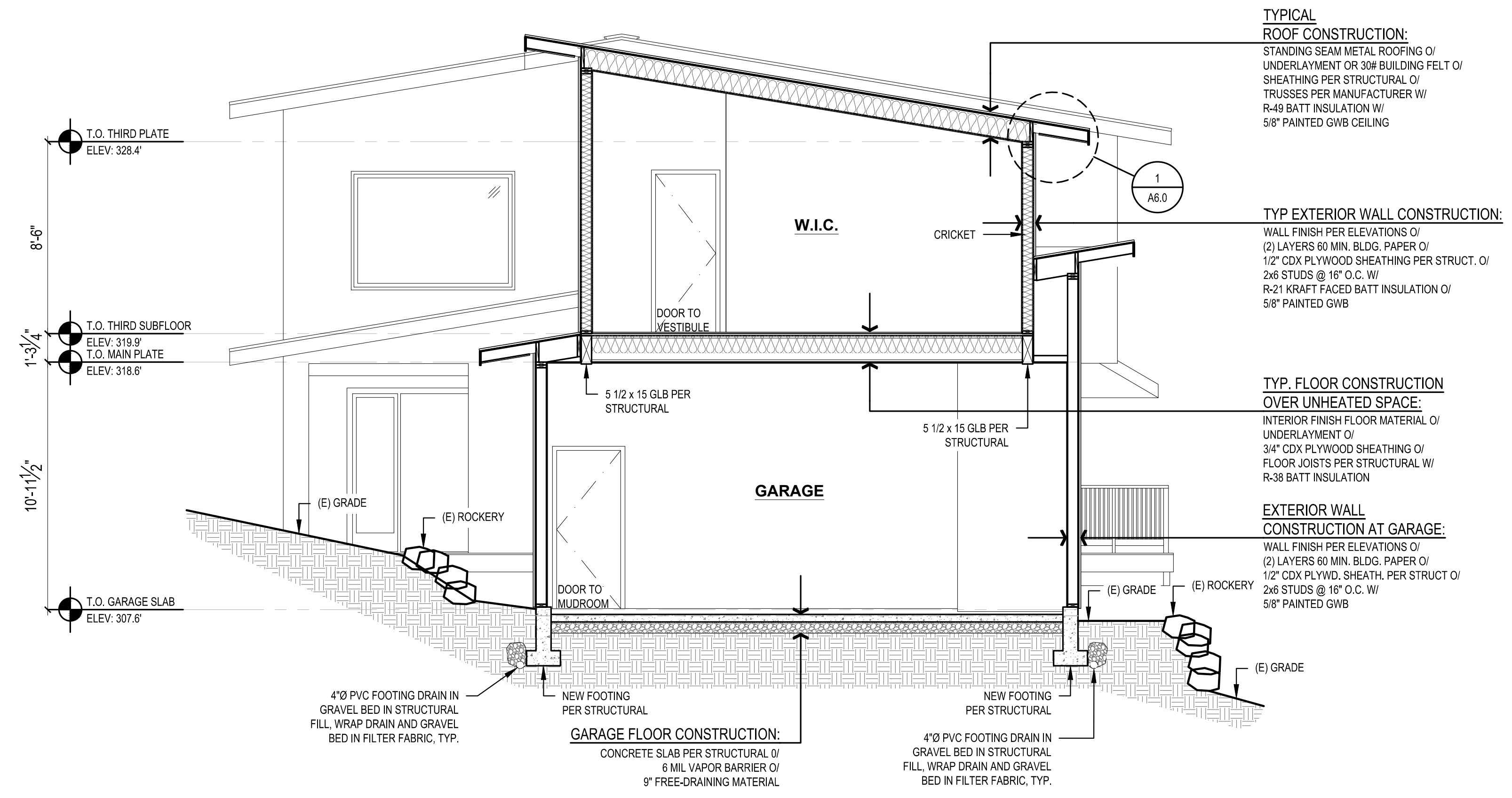


3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

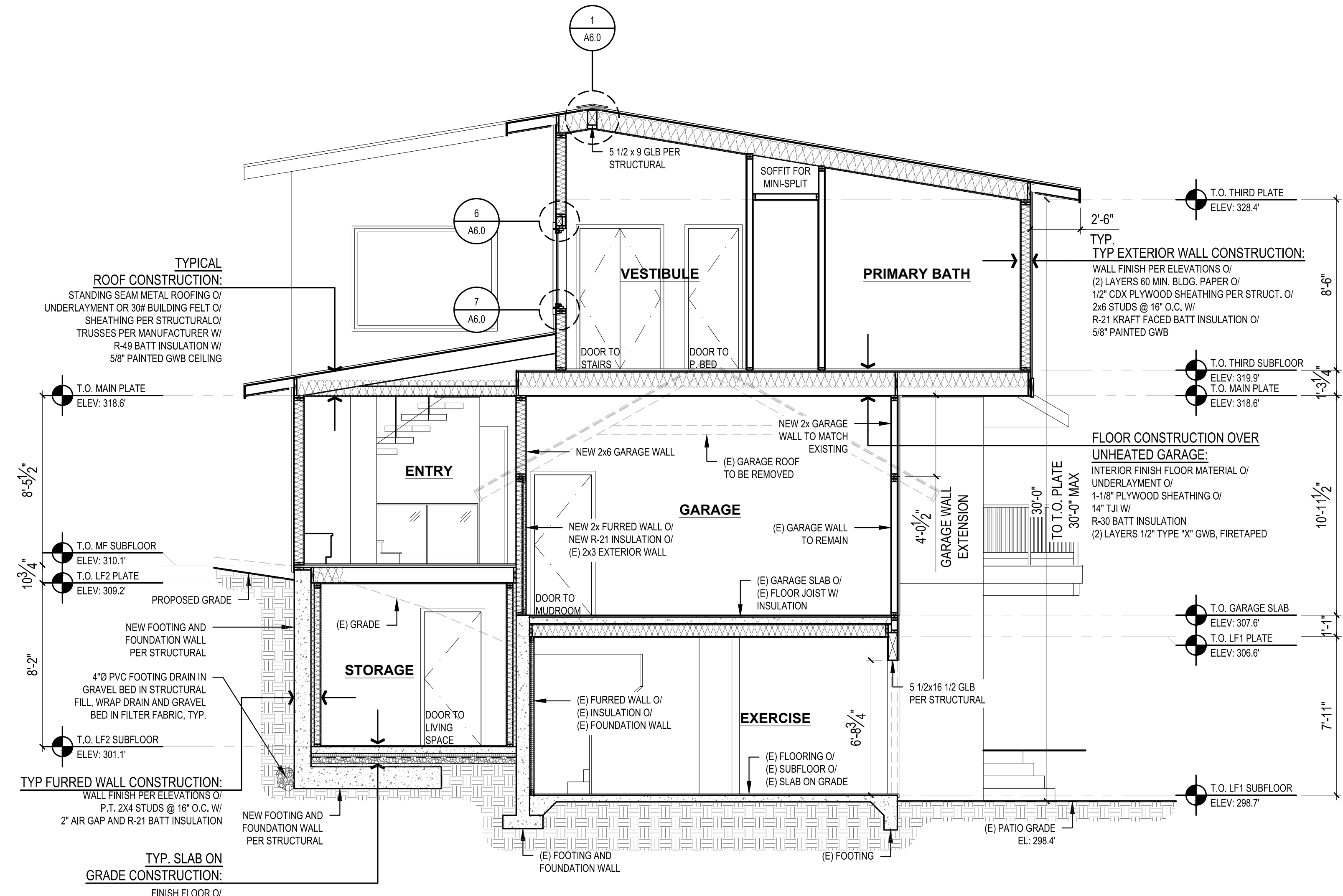


4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 2/29/2024



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



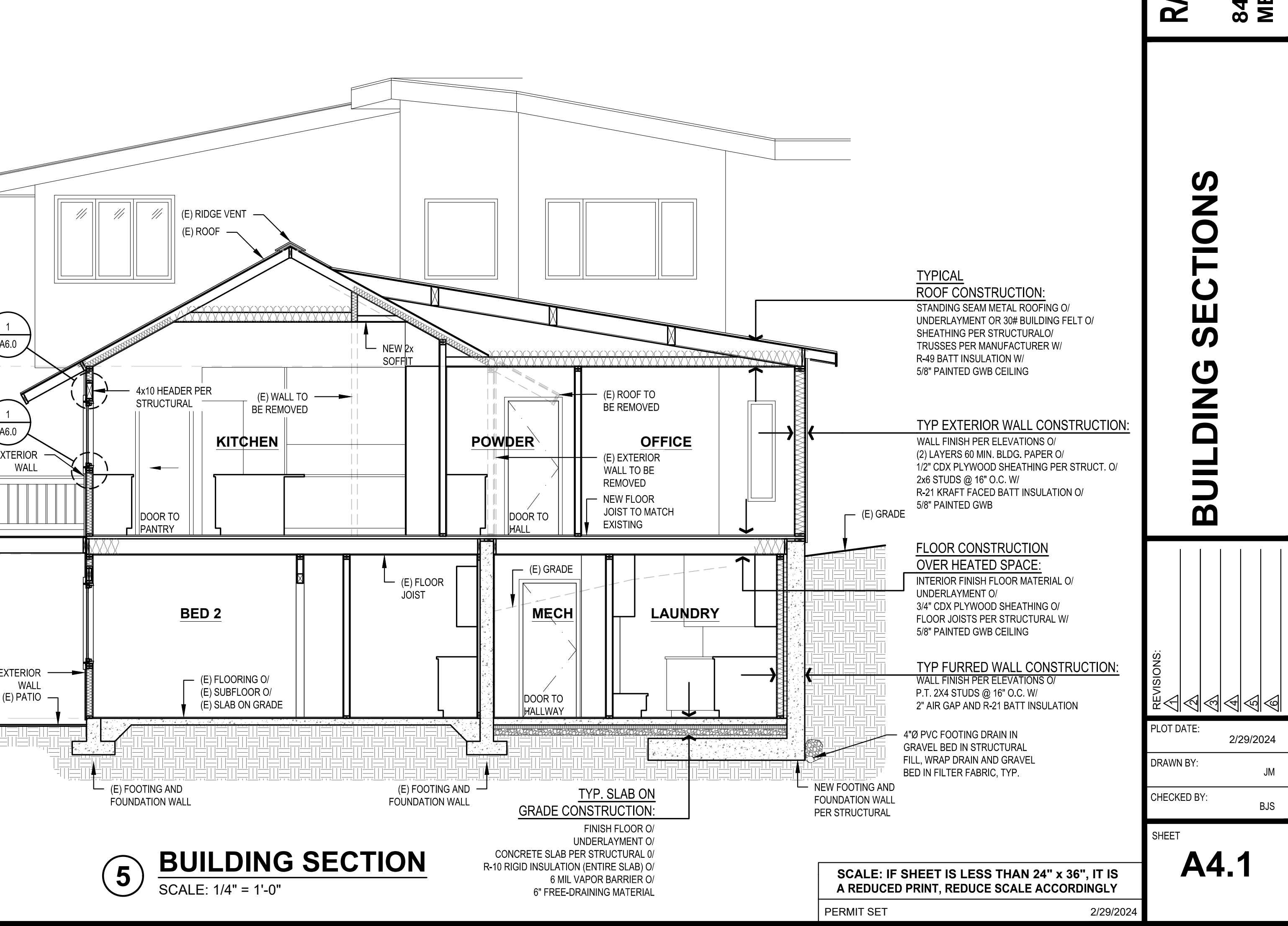
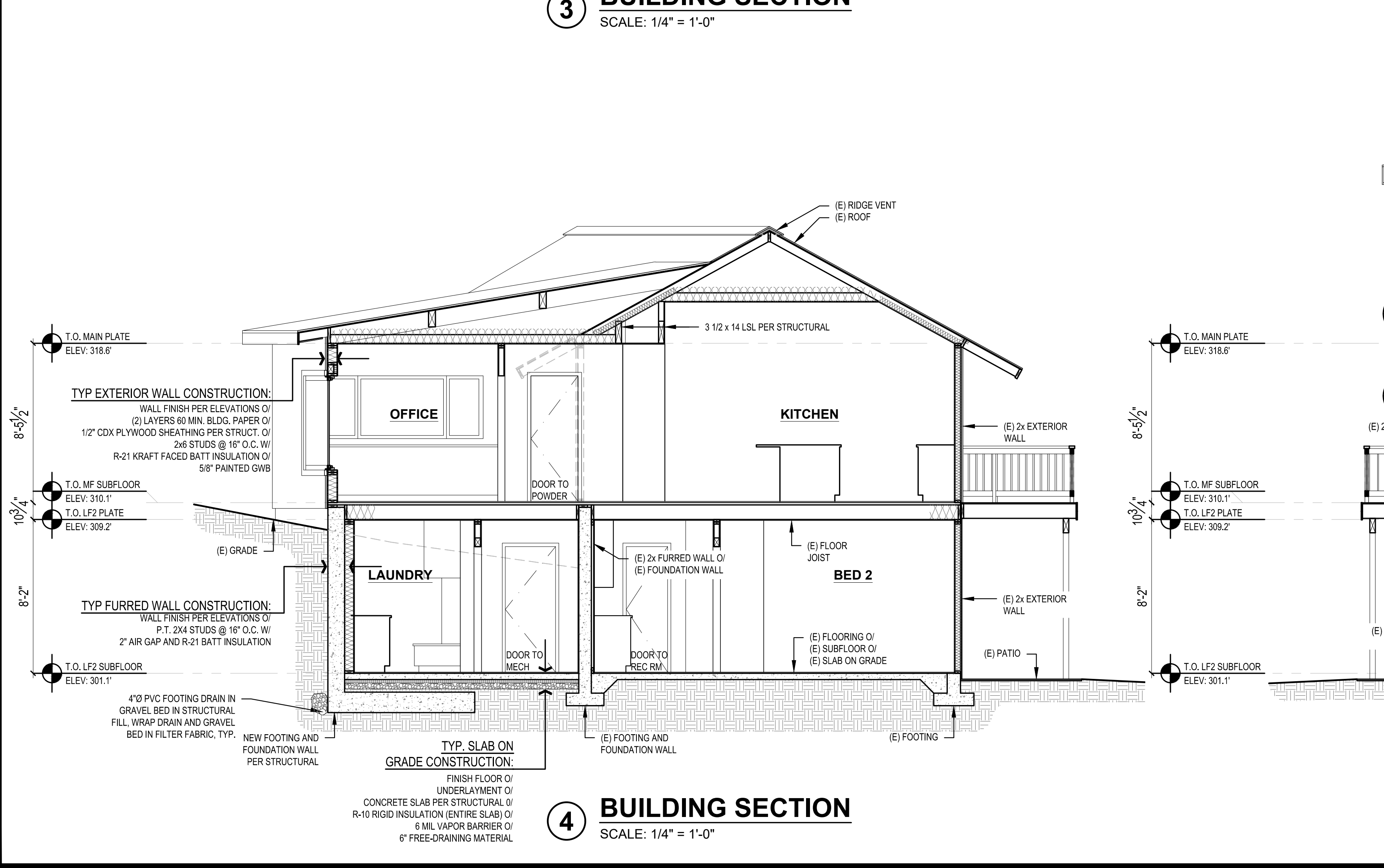
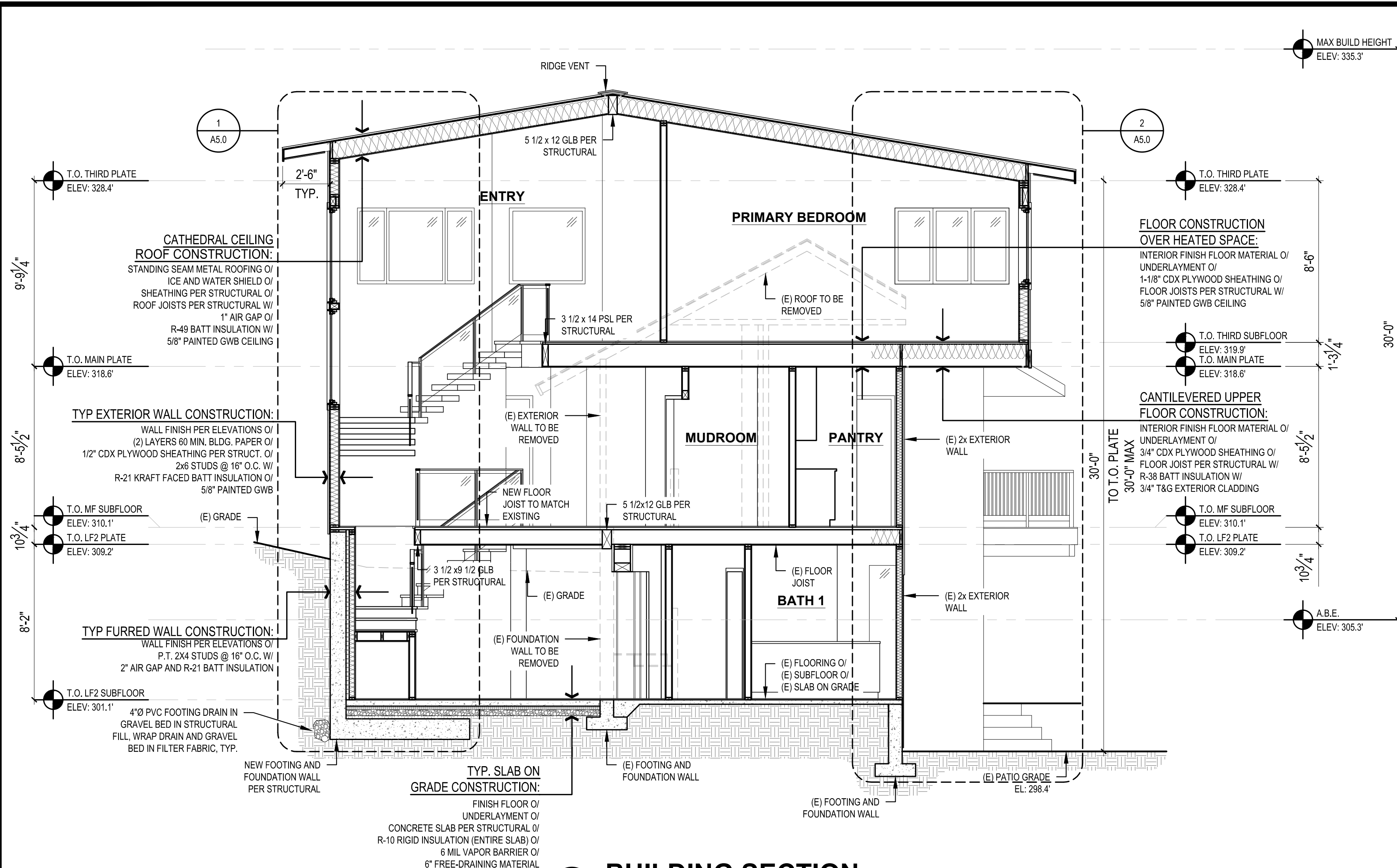
2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 2/29/2024

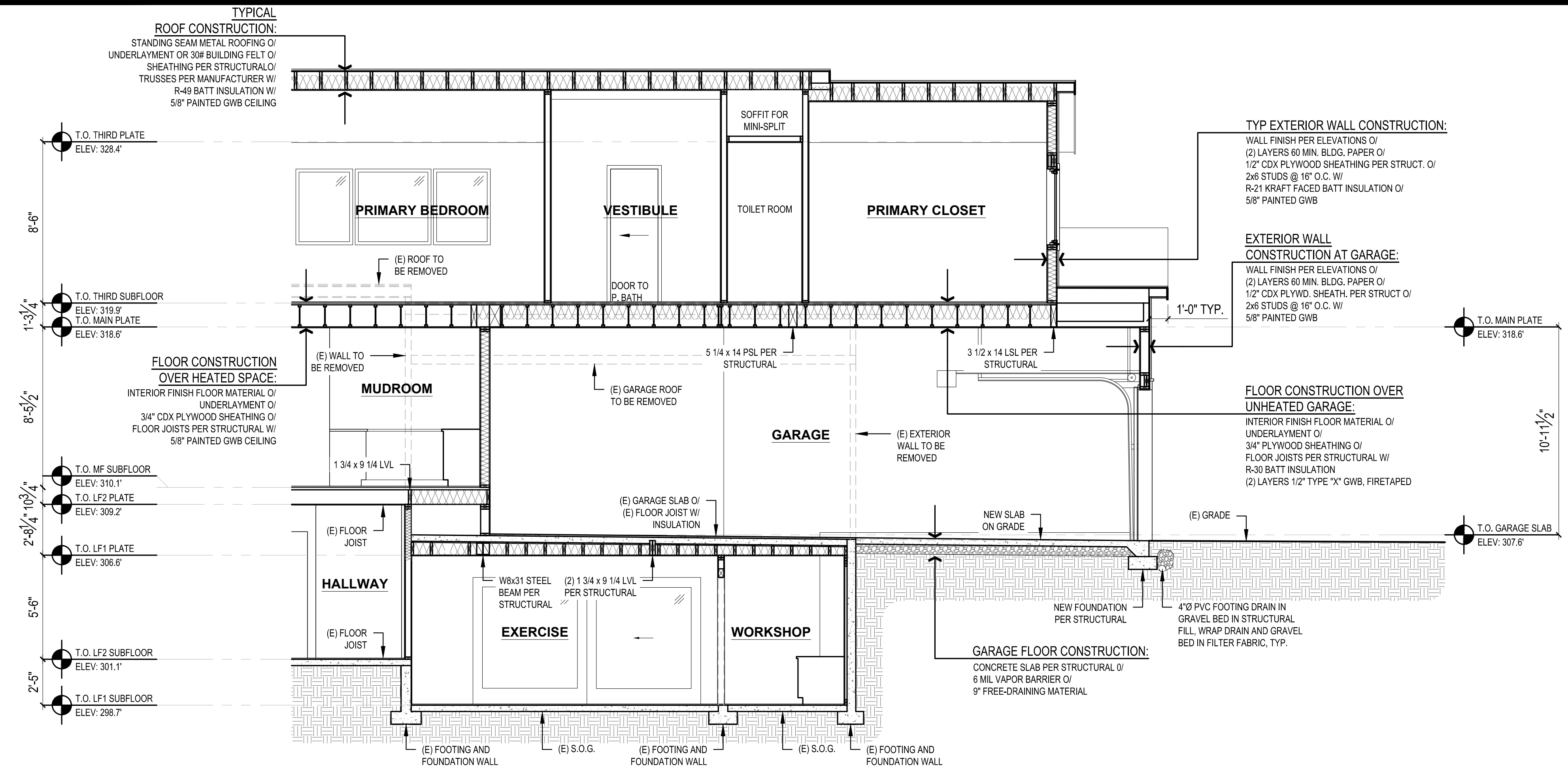
REVISIONS:

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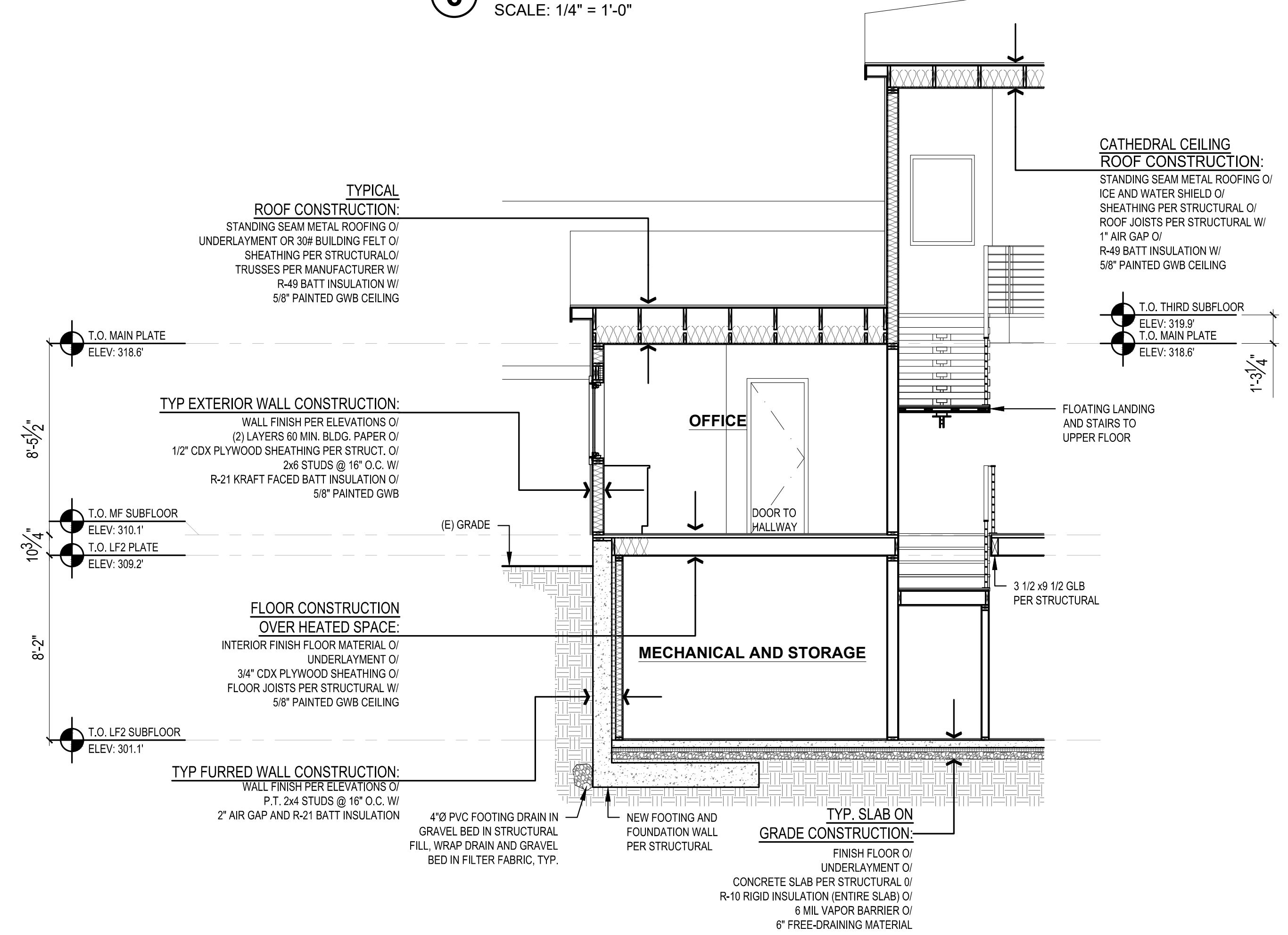
PLOT DATE: 2/29/2024
 DRAWN BY: JM
 CHECKED BY: BJS



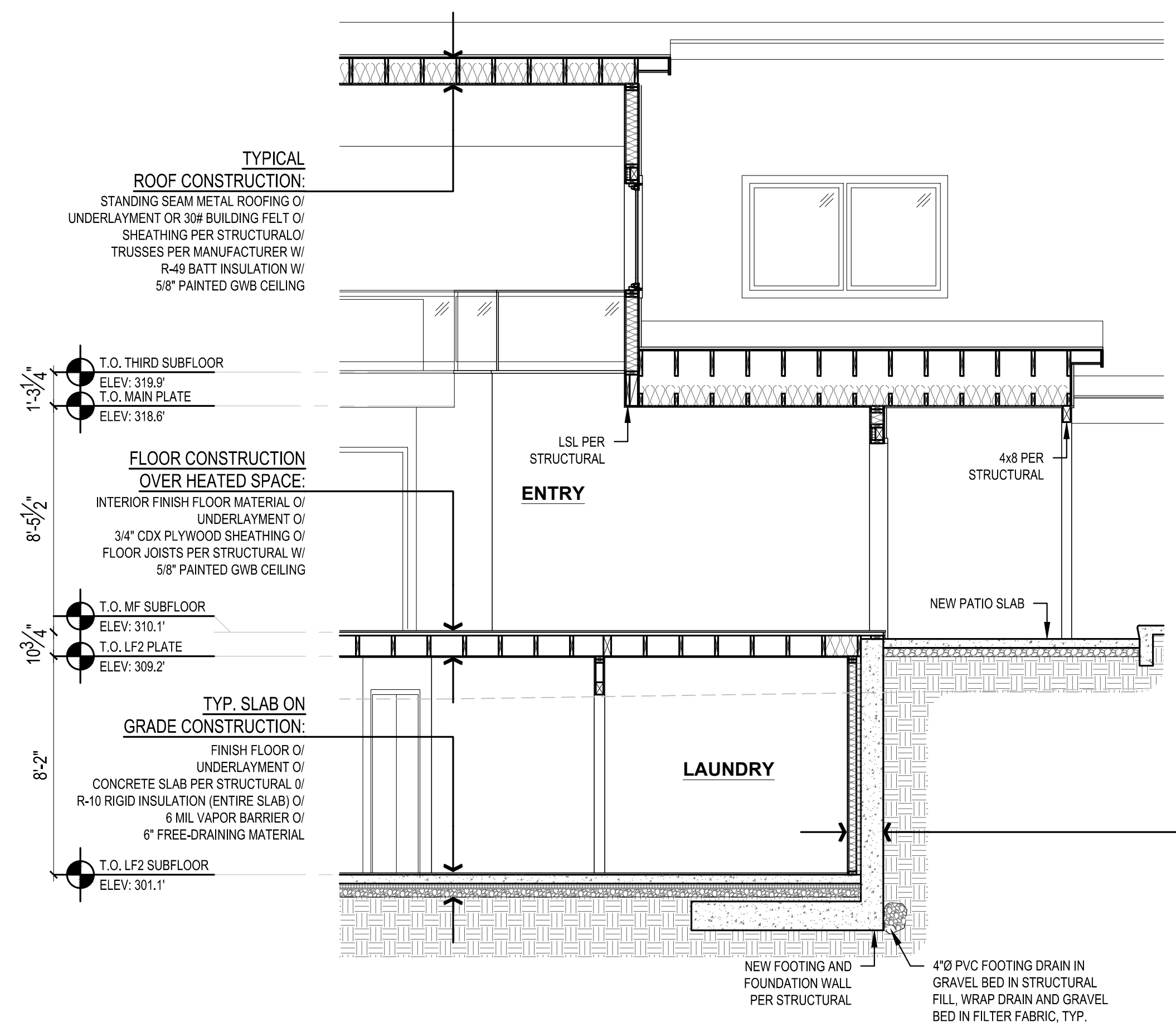
SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 2/29/2024



6 BUILDING SECTION
SCALE: 1/4" = 1'-0"



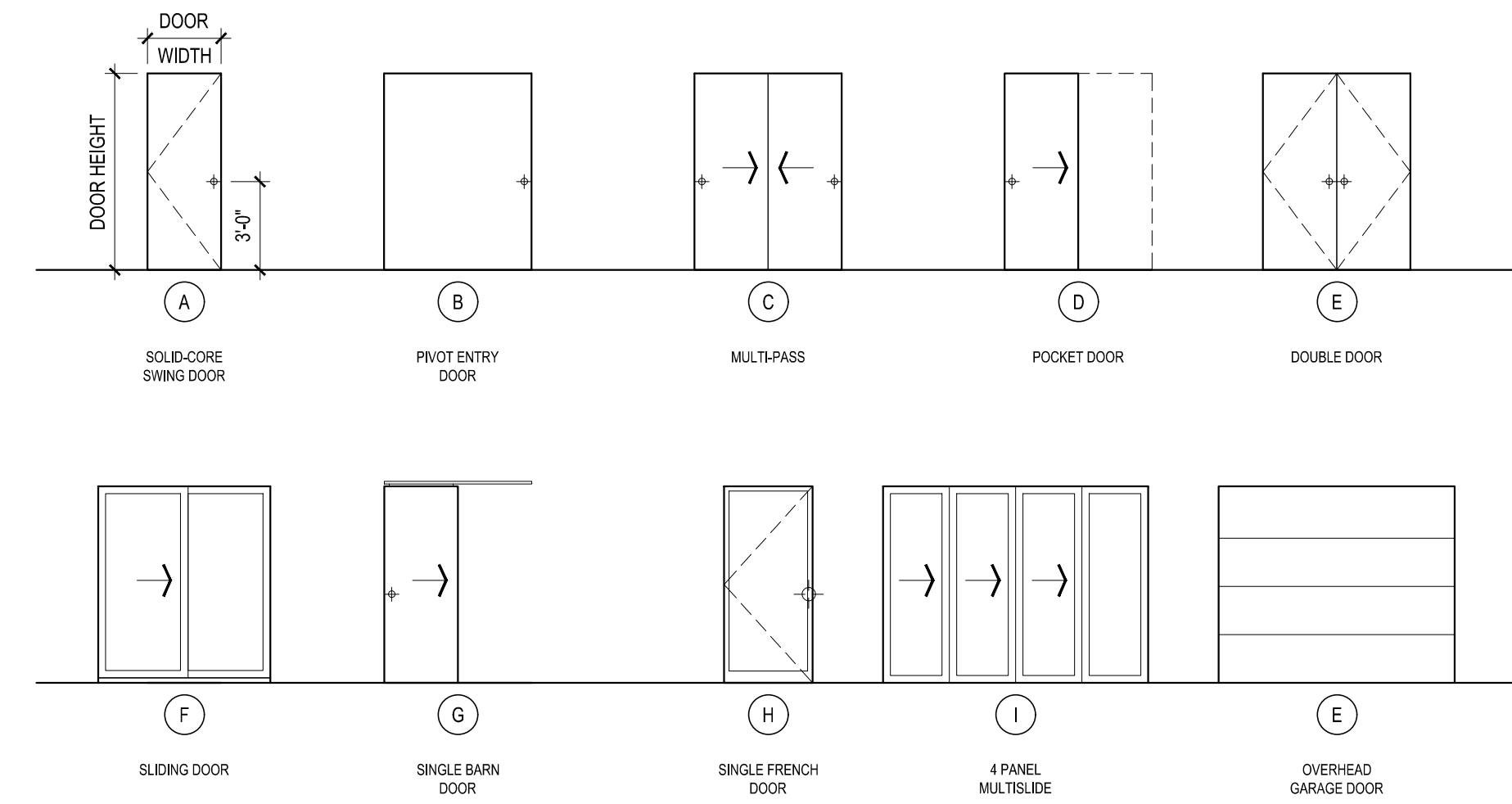
7 BUILDING SECTION
SCALE: 1/4" = 1'-0"



8 BUILDING SECTION
SCALE: 1/4" = 1'-0"

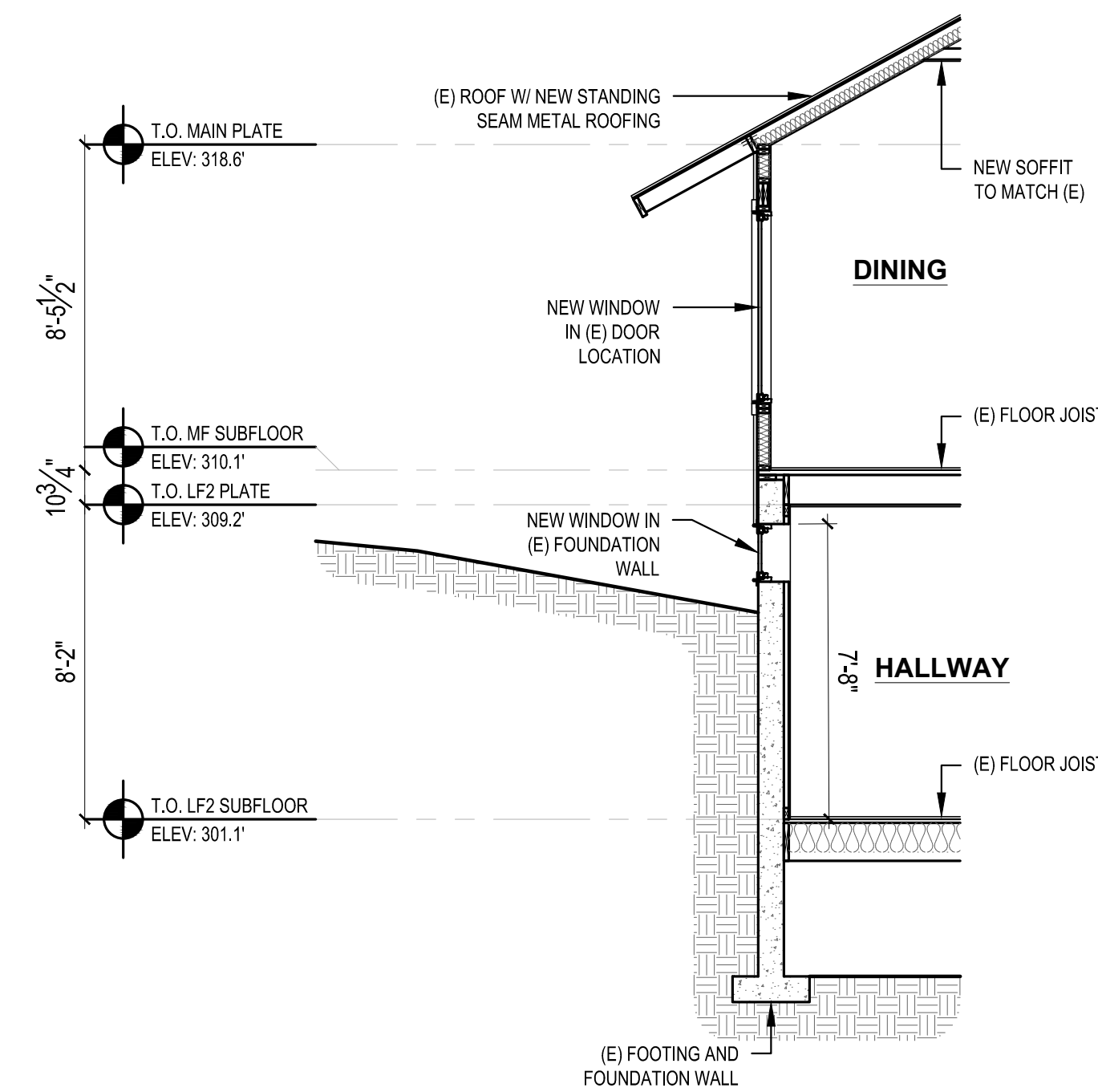
SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 2/29/2024

DOOR TYPES:

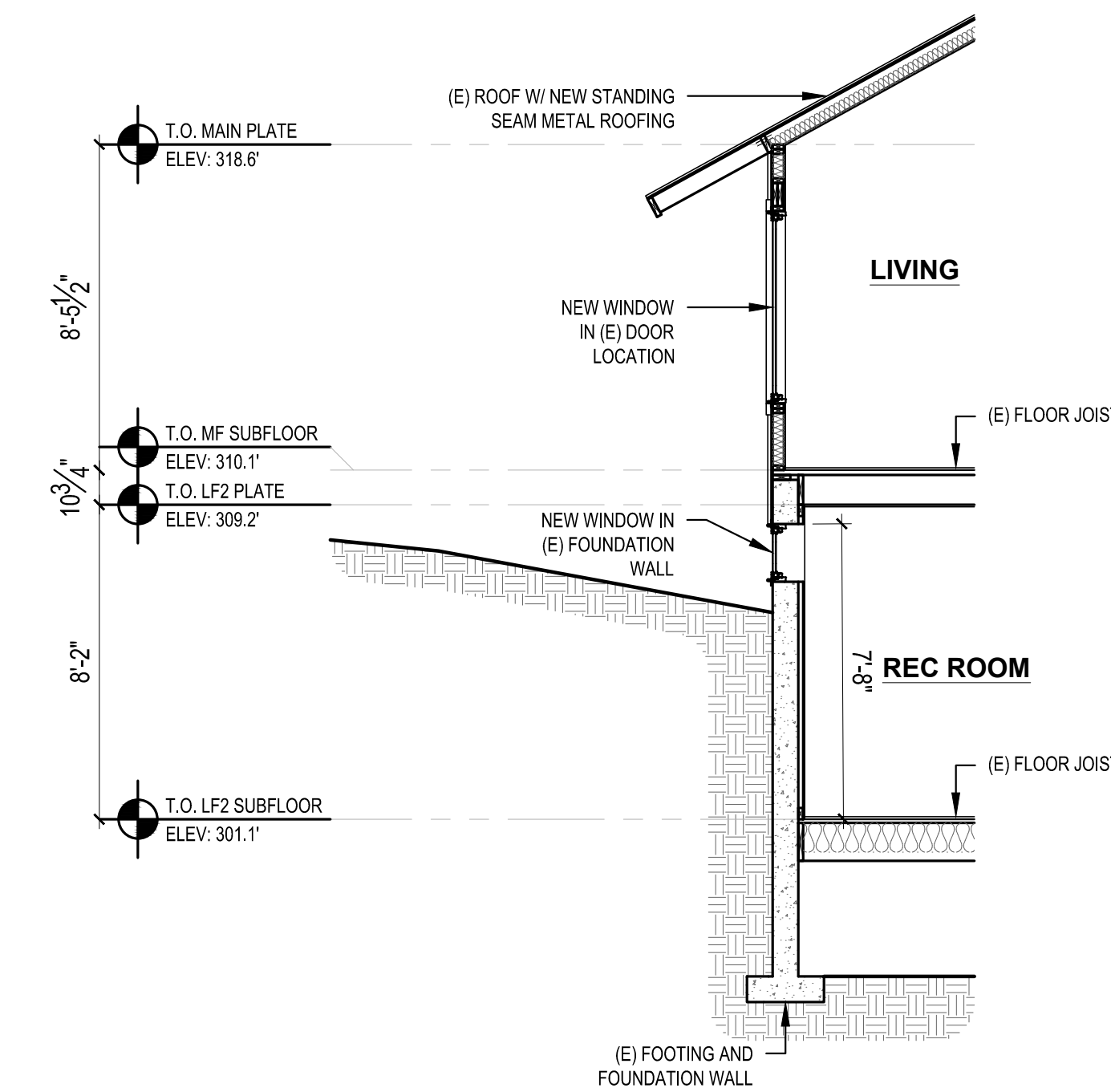


DOOR SCHEDULE

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS
LOWER FLOOR								
001	BED 1	5' - 0"	6' - 8"	C	-	1-3/4"	-	
002	BED 2	5' - 0"	6' - 8"	C	-	1-3/4"	-	
103	BED 3	5' - 0"	6' - 8"	C	-	1-3/4"	-	
104	BATH 1	2' - 6"	6' - 8"	D	-	1-3/4"	-	
105	HALL CLOSET	2' - 6" PR	6' - 8"	E	-	1-3/4"	-	
106	EXERCISE	12' - 0"	6' - 8"	F	Y	1-3/4"	0.28	
107	EXERCISE	6' - 0"	6' - 8"	G	-	1-3/4"	-	
108	LAUNDRY	2' - 10"	6' - 8"	A	-	1-3/4"	-	
109	STAIR CLOSET	2' - 6"	6' - 8"	A	-	1-3/4"	-	
110	MECH AND STORAGE	2' - 10"	6' - 8"	A	-	1-3/4"	-	
111	BATH 2	10' - 0" PR	6' - 8"	C	-	1-3/4"	-	
112	BATH 2	2' - 10"	6' - 8"	H	Y	1-3/4"	0.28	
MAIN FLOOR								
201	ENTRY DOOR	5' - 0"	7' - 0"	B	-	1-3/4"	-	
202	ENTRY CLOSET	2' - 0" PR	7' - 0"	E	-	1-3/4"	-	
203	OFFICE	2' - 6"	6' - 8"	A	-	1-3/4"	-	
204	POWDER	2' - 6"	6' - 8"	A	-	1-3/4"	-	
205	HALL CLOSET	2' - 0" PR	6' - 8"	E	-	1-3/4"	-	
206	LIVING ROOM	16' - 0"	8' - 0"	I	Y	1-3/4"	0.28	
207	DINING ROOM	8' - 6"	6' - 8"	F	Y	1-3/4"	0.28	
208	PANTRY	2' - 6"	6' - 8"	D	-	1-3/4"	-	
209	MUDROOM	2' - 10"	6' - 8"	A	-	1-3/4"	-	
210	MUDROOM	2' - 10"	6' - 8"	A	-	1-3/4"	-	20 MIN FIRE RATED DOOR
211	GARAGE	3' - 0"	7' - 0"	A	-	1-3/4"	-	
212	GARAGE	9' - 0"	8' - 0"	E	-	1-3/4"	-	
213	GARAGE	9' - 0"	8' - 0"	E	-	1-3/4"	-	
UPPER FLOOR								
201	VESTIBULE	2' - 8"	7' - 0"	A	-	1-3/4"	-	
202	PRIMARY BEDROOM	2' - 8"	7' - 0"	A	-	1-3/4"	-	
203	PRIMARY BATH LINEN	2' - 6"	7' - 0"	A	-	1-3/4"	-	
204	PRIMARY BATH	2' - 6"	7' - 0"	G	-	1-3/4"	-	
205	TOILET ROOM	2' - 6"	7' - 0"	A	-	1-3/4"	-	
206	PRIMARY CLOSET	2' - 6"	7' - 0"	A	-	1-3/4"	-	



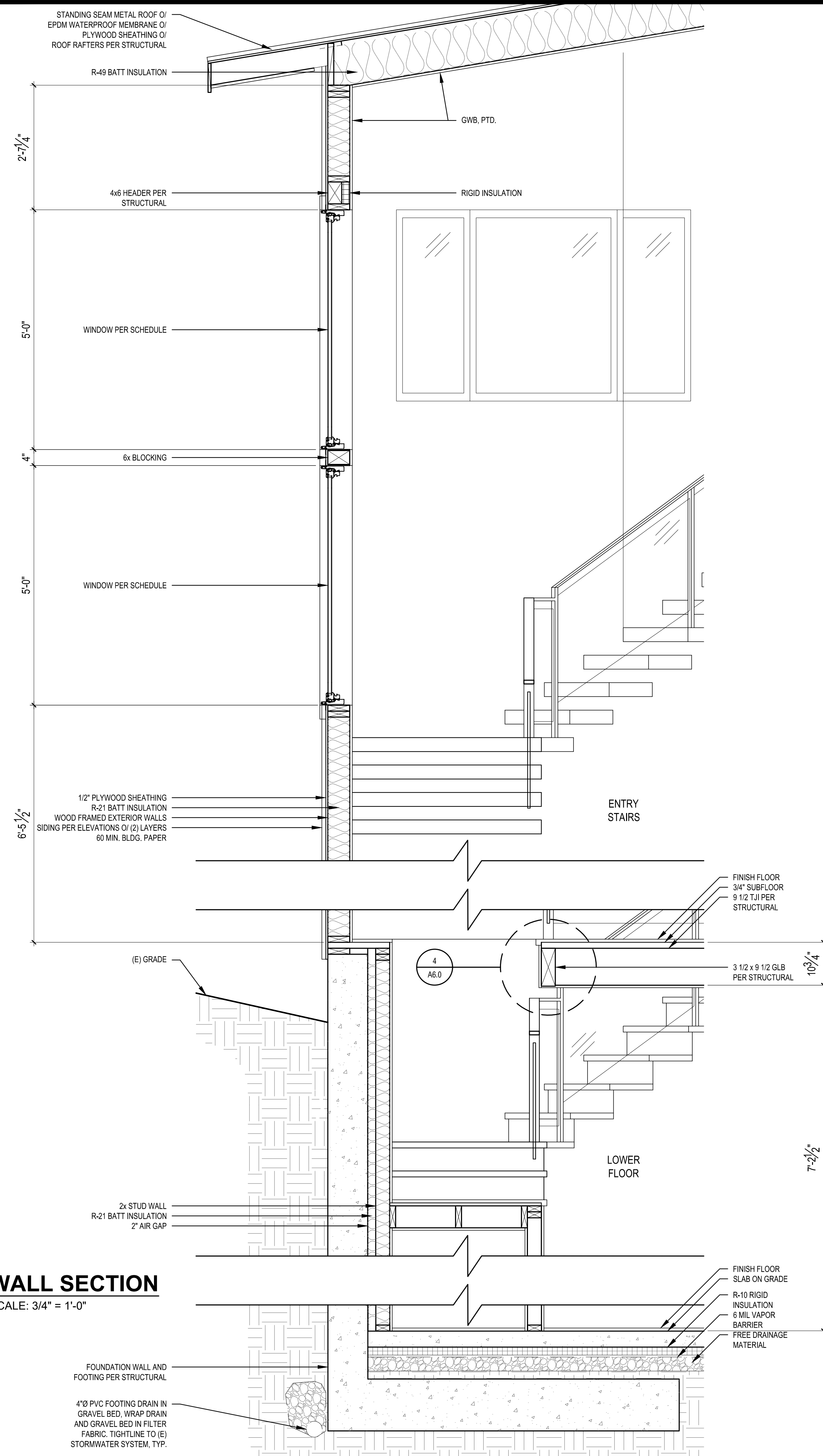
9 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



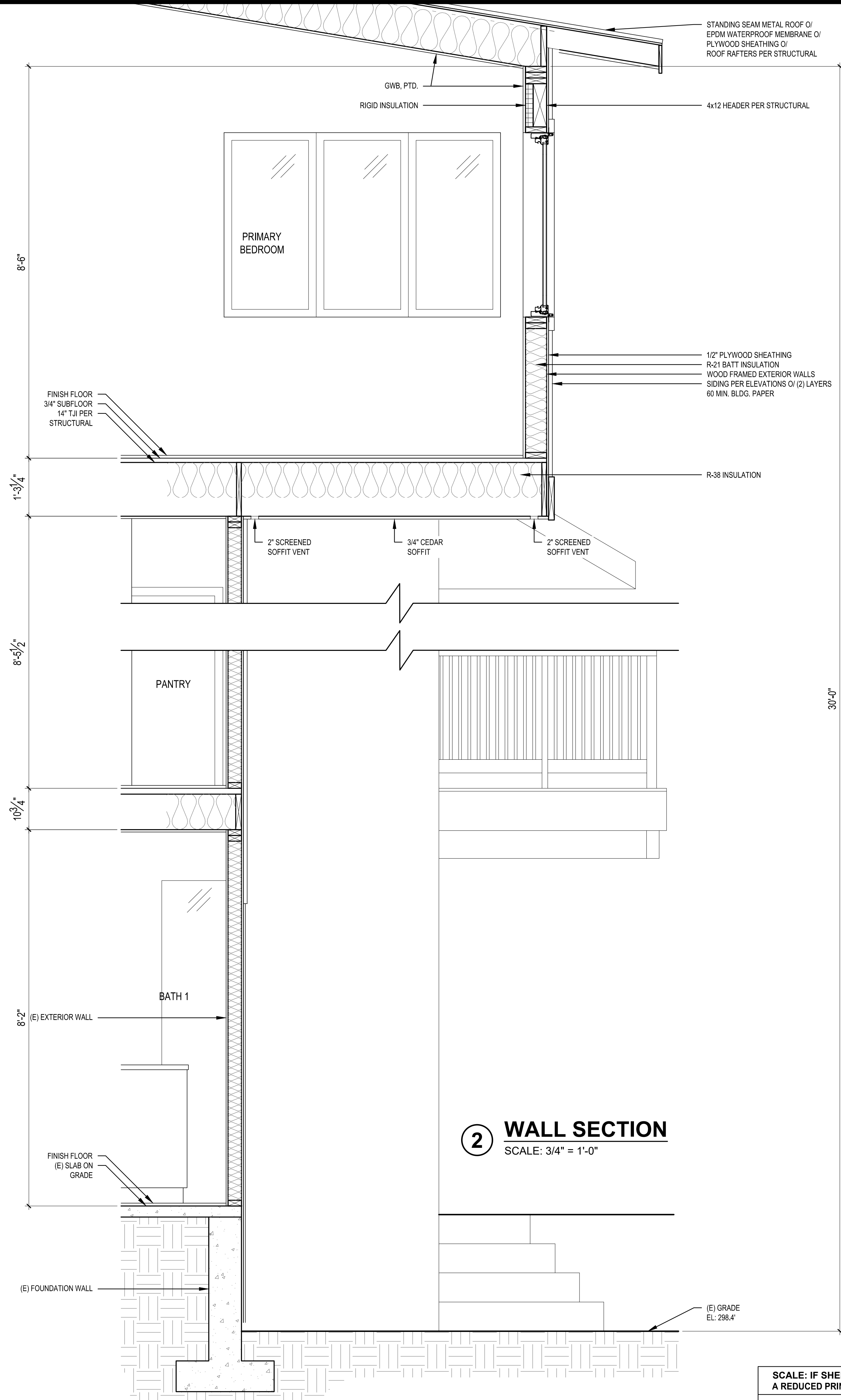
10 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

TAG.	DESCRIPTION	WINDOW SIZE		TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	PICTURE	4' - 0"	5' - 0"	-	1	20	0.28	LOW E / CLEAR	
B	SIDELIGHT	2' - 0"	7' - 0"	Y	1	14	0.28	LOW E / CLEAR	
C	PICTURE	7' - 0"	5' - 0"	-	1	35	0.28	LOW E / CLEAR	
D	CASEMENT	4' - 0"	3' - 0"	-	2	24	0.28	LOW E / CLEAR	
E	PICTURE	3' - 6"	4' - 0"	-	2	28	0.28	LOW E / CLEAR	
F	PICTURE	5' - 0"	5' - 0"	Y	2	50	0.28	LOW E / CLEAR	
G	FIXED	2' - 0"	4' - 0"	-	2	16	0.28	LOW E / CLEAR	
H	PICTURE	4' - 0"	4' - 0"	-	1	16	0.28	LOW E / CLEAR	
I	CASEMENT	2' - 0"	3' - 4"	-	3	20	0.28	LOW E / CLEAR	
J	PICTURE	3' - 0"	3' - 4"	-	1	10	0.28	LOW E / CLEAR	
K	FIXED	3' - 0"	4' - 0"	-	3	36	0.28	LOW E / CLEAR	
L	PICTURE	2' - 6"	5' - 0"	-	4	50	0.28	LOW E / CLEAR	
M	PICTURE	4' - 0"	1' - 6"	-	2	12	0.28	LOW E / CLEAR	
N	TRANSOM	4' - 0"	2' - 0"	-	2	16	0.28	LOW E / CLEAR	
O	PICTURE	2' - 0"	4' - 0"	-	3	24	0.28	LOW E / CLEAR	
P	PICTURE	2' - 6"	4' - 0"	Y	2	20	0.28	LOW E / CLEAR	
Q	PICTURE	2' - 0"	1' - 6"	-	4	12	0.28	LOW E / CLEAR	
R	SKYLIGHT	4' - 0"	4' - 0"	Y	1	16	0.5	LOW E / CLEAR	
S	AWNING	4' - 0"	1' - 6"	Y	1	12	0.28	LOW E / CLEAR	
T	CASEMENT	3' - 0"	4' - 0"	-	7	84	0.28	LOW E / CLEAR	EGRESS IN SOME LOCATIONS
U	FIXED	2' - 0"	3' - 6"	-	1	7	0.28	LOW E / CLEAR	
V	CASEMENT	2' - 0"	3' - 6"	-	1	7	0.28	LOW E / CLEAR	
W	CASEMENT	2' - 0"	4' - 0"	-	1	8	0.28	LOW E / CLEAR	
X	AWNING	3' - 0"	1' - 6"	Y	1	4.5	0.28	LOW E / CLEAR	
Y	CASEMENT	3' - 0"	4' - 0"	-	3	36	0.28	LOW E / CLEAR	
Z	PICTURE	4' - 0"	6' - 0"	Y	4	96	0.28	LOW E / CLEAR	
AA	CASEMENT	2' - 0"	3' - 6"	Y	4	28	0.28	LOW E / CLEAR	
BB	PICTURE	3' - 0"	3' - 6"	Y	2	21	0.28	LOW E / CLEAR	



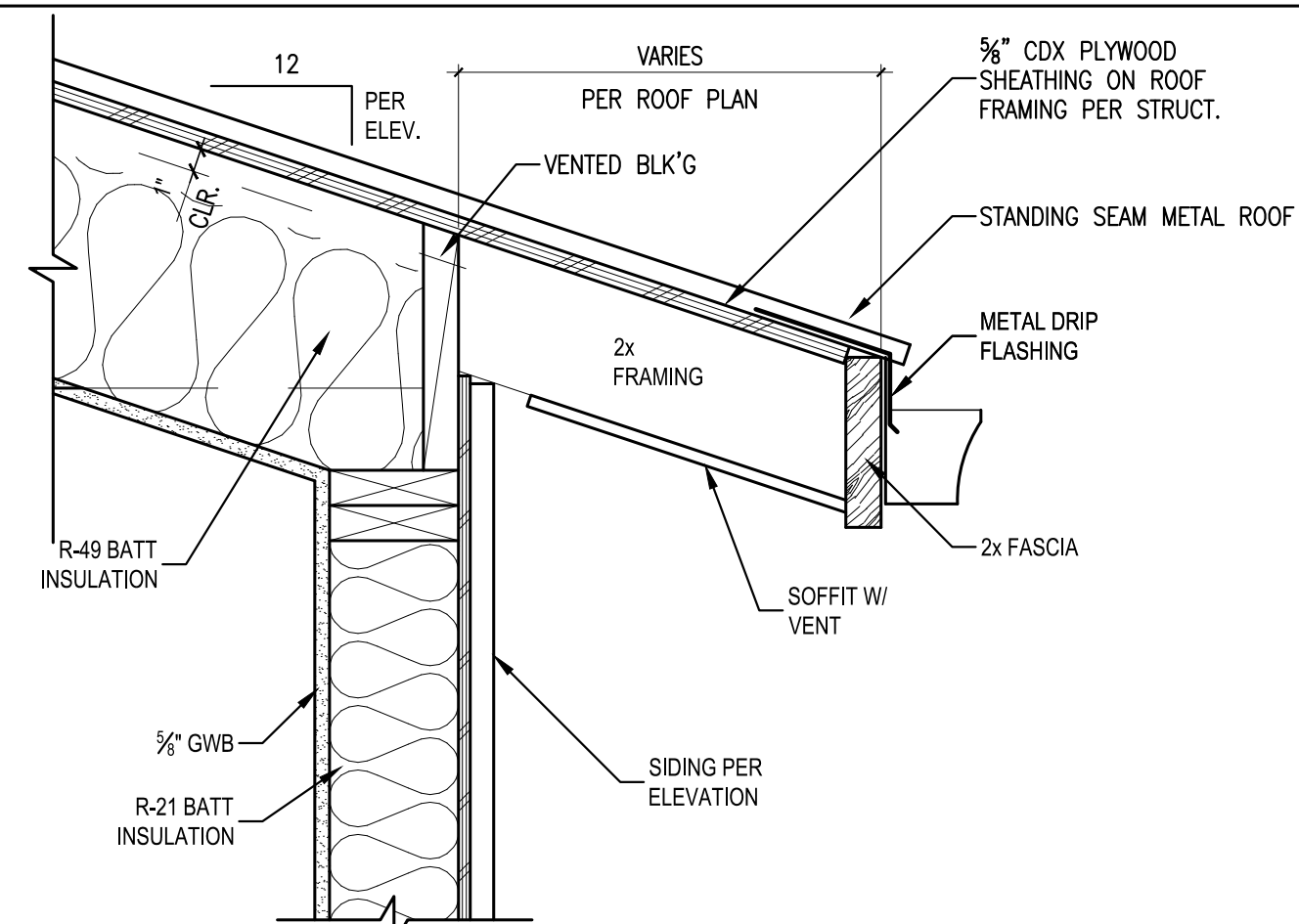
1 WALL SECTION
SCALE: 3/4" = 1'-0"



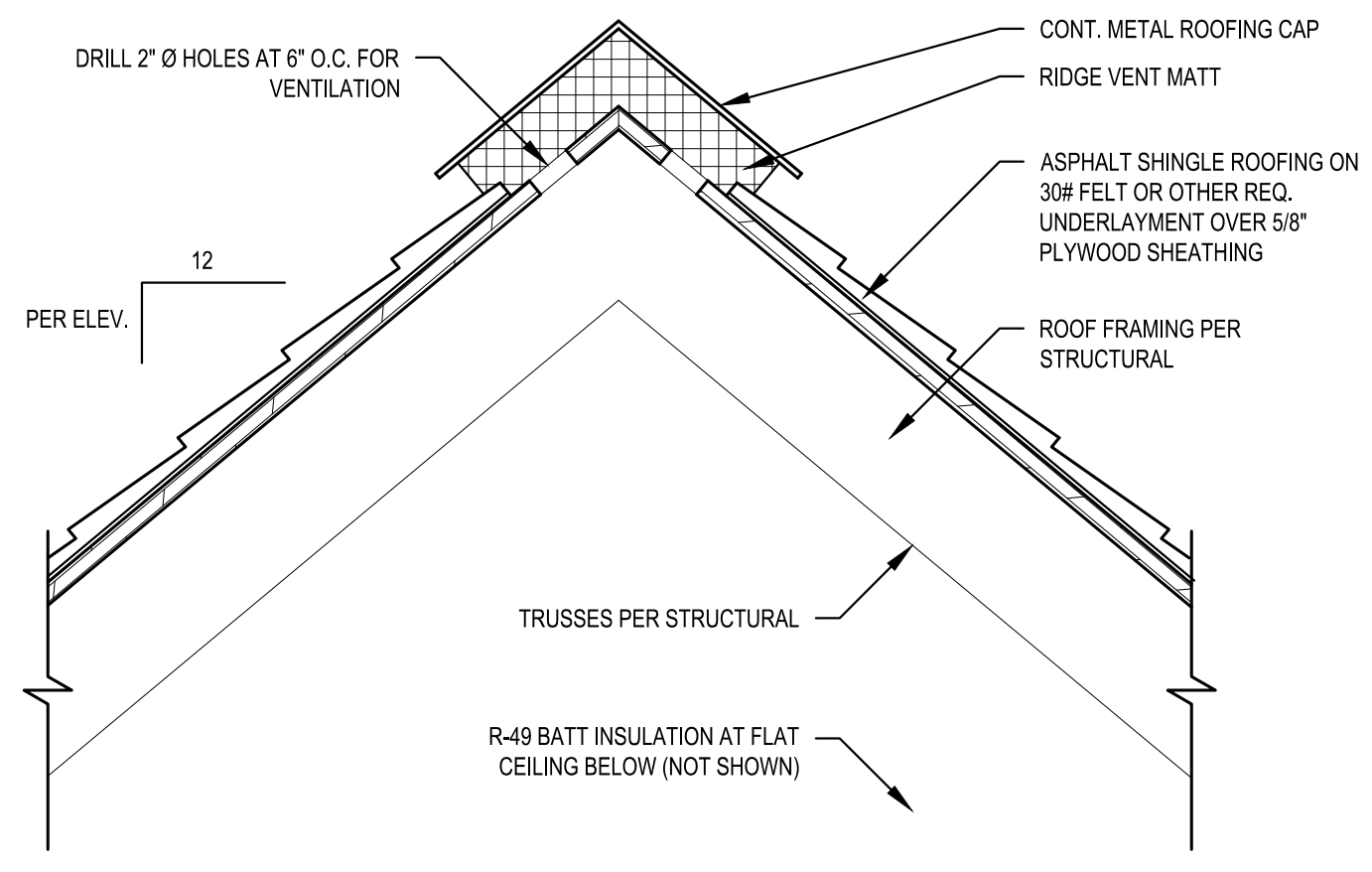
2 WALL SECTION
SCALE: 3/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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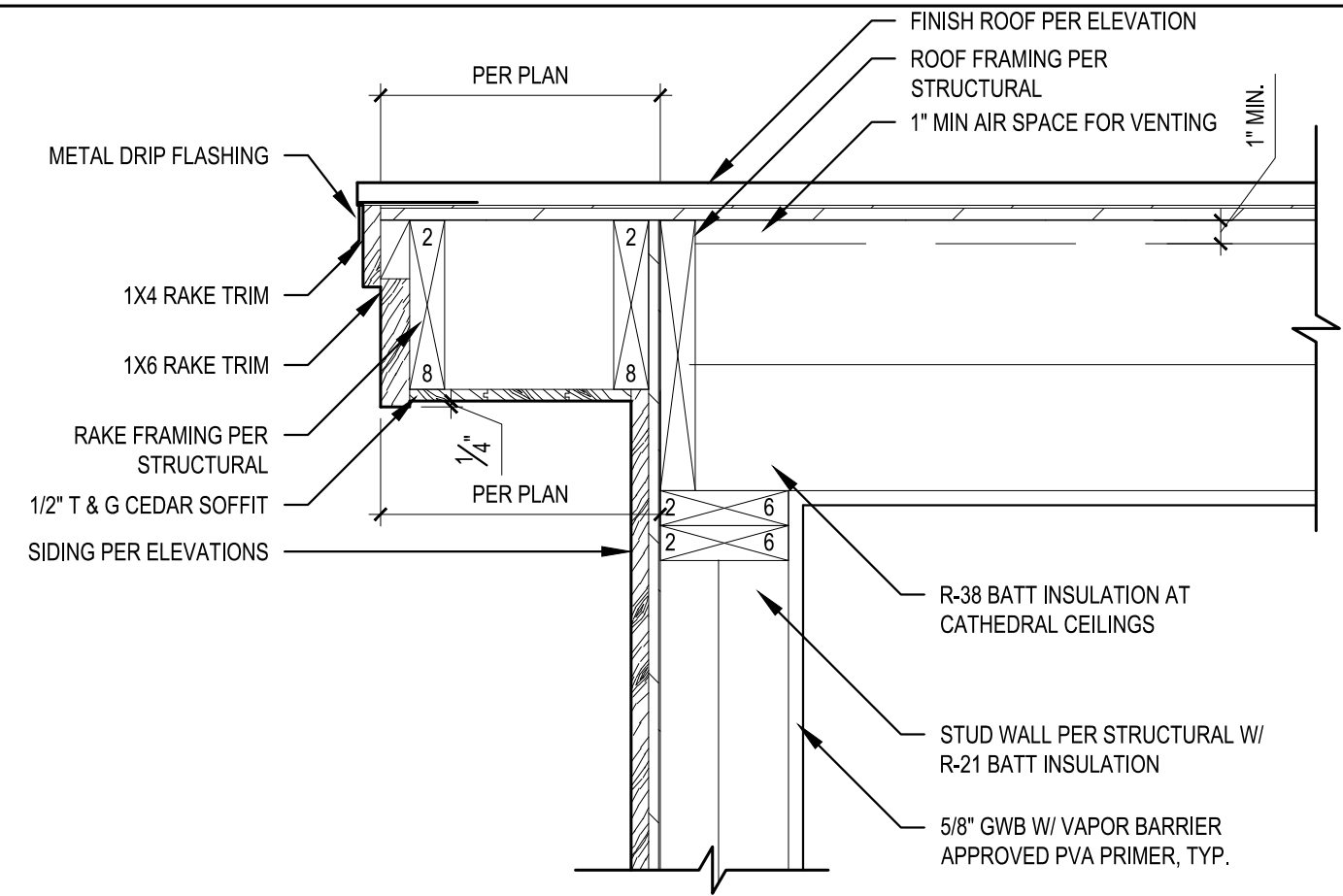
REVISIONS:	
PLOT DATE:	2/29/2024
DRAWN BY:	JM
CHECKED BY:	BJS



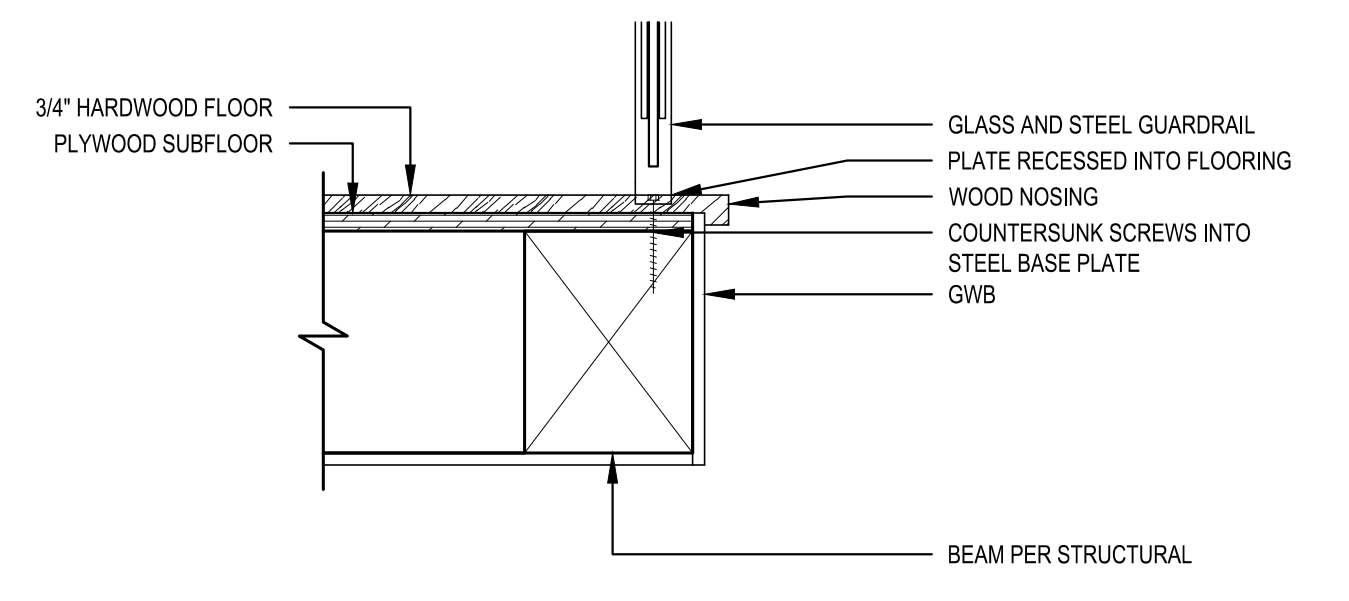
1 TYPICAL ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



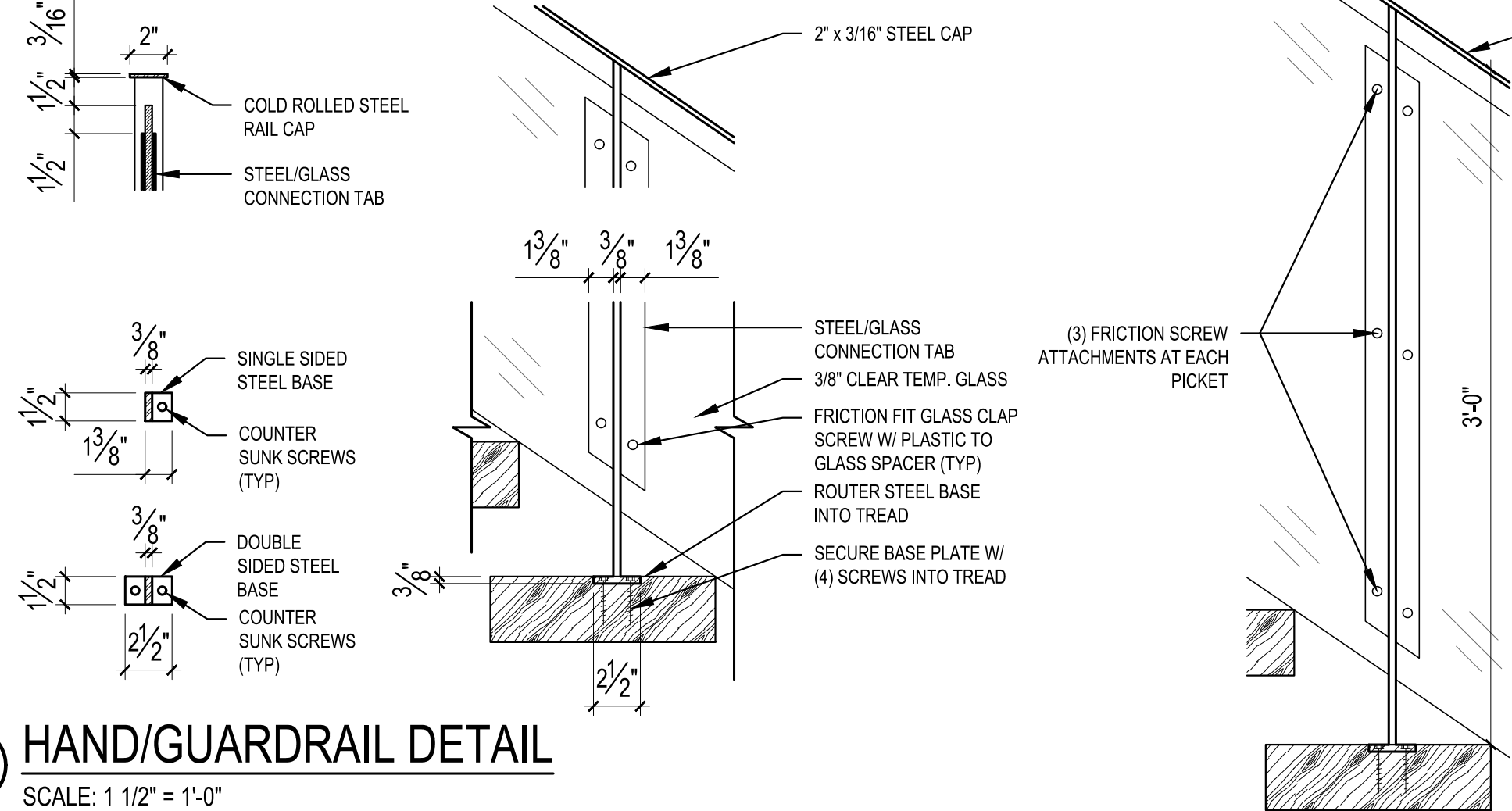
2 TYPICAL ROOF RIDGE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



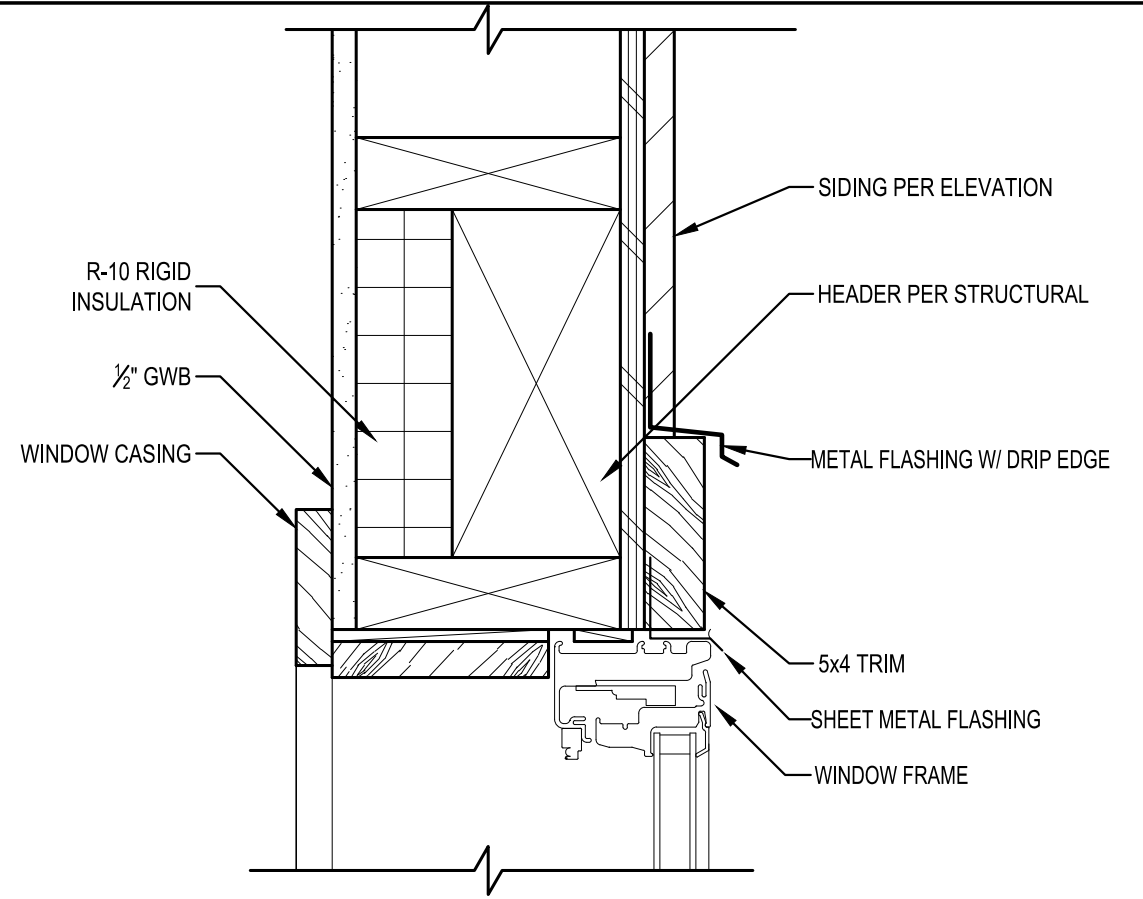
3 TYPICAL ROOF EAVE RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



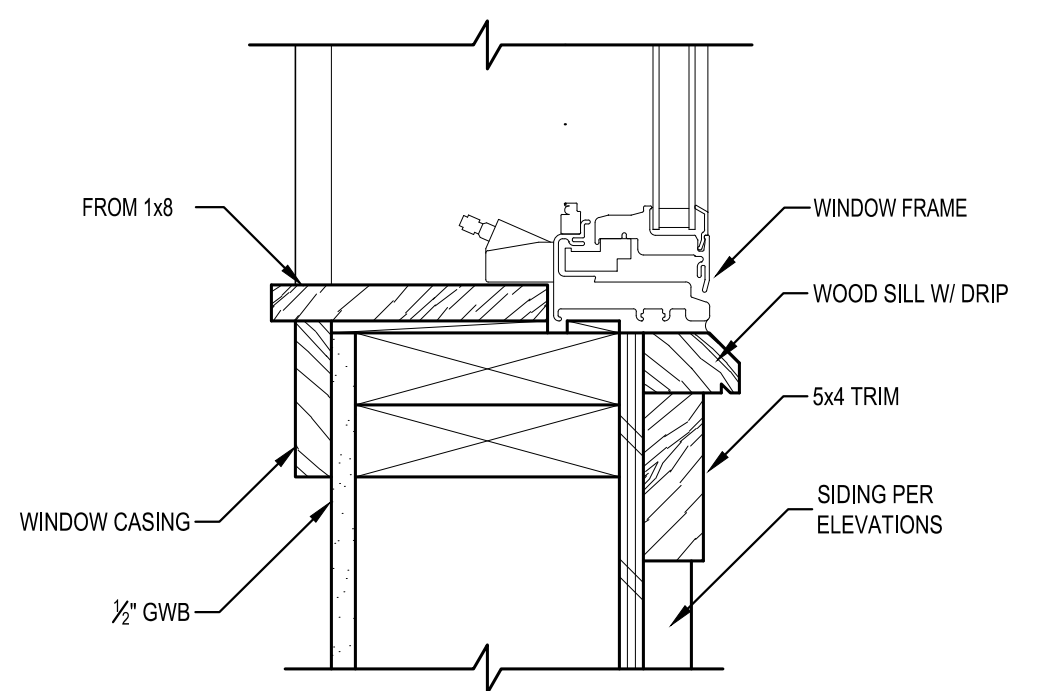
4 GLASS GUARDRAIL CONNECTION
SCALE: 1 1/2" = 1'-0"



5 HAND/GUARDRAIL DETAIL
SCALE: 1 1/2" = 1'-0"



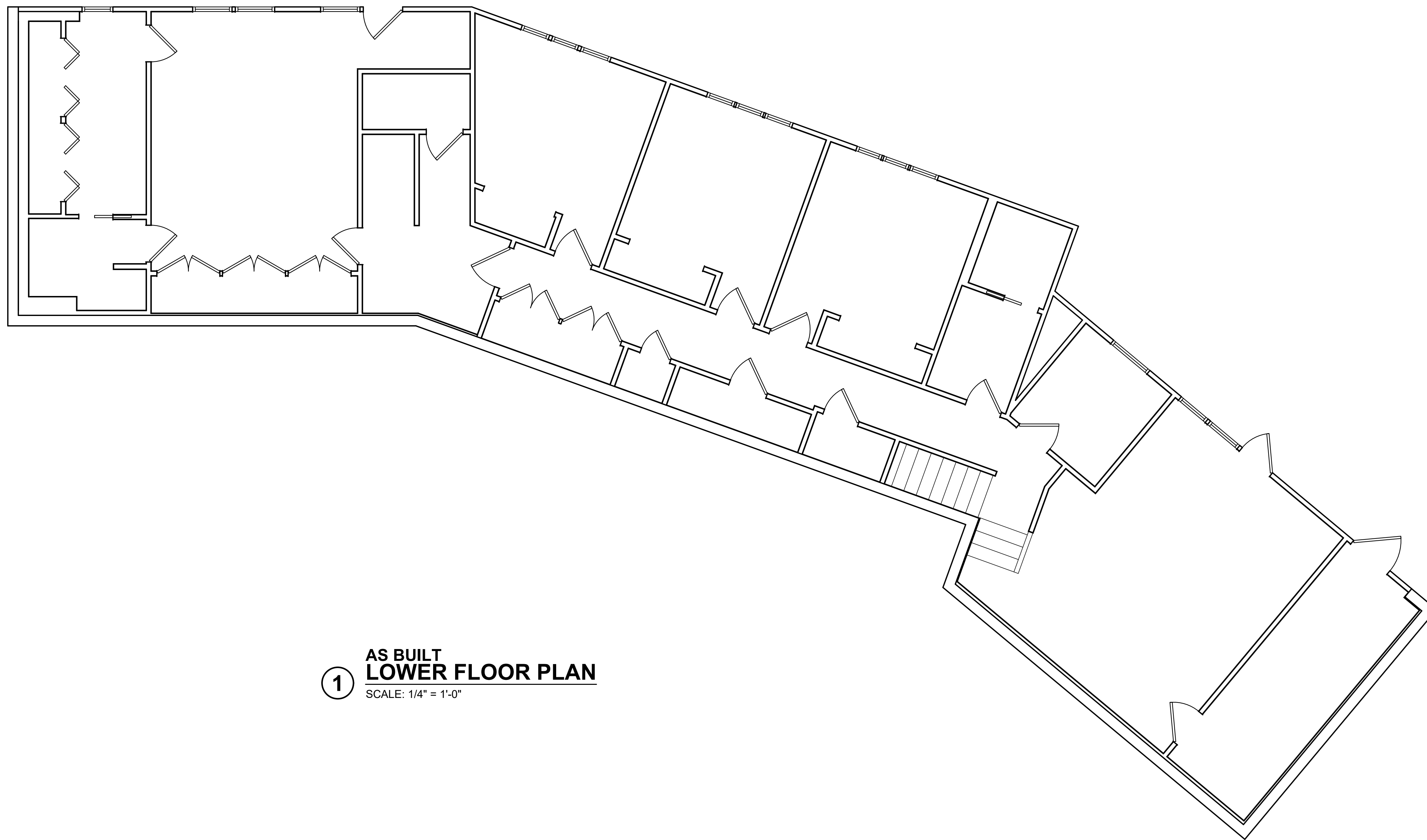
6 TYPICAL WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



7 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"

REVISIONS:

PLOT DATE: 2/29/2024
DRAWN BY: JM
CHECKED BY: BJS



1 AS BUILT LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
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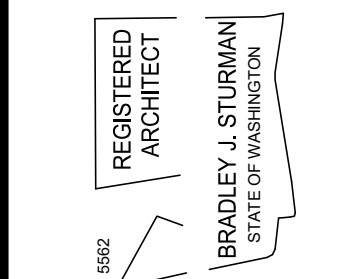
SHEET

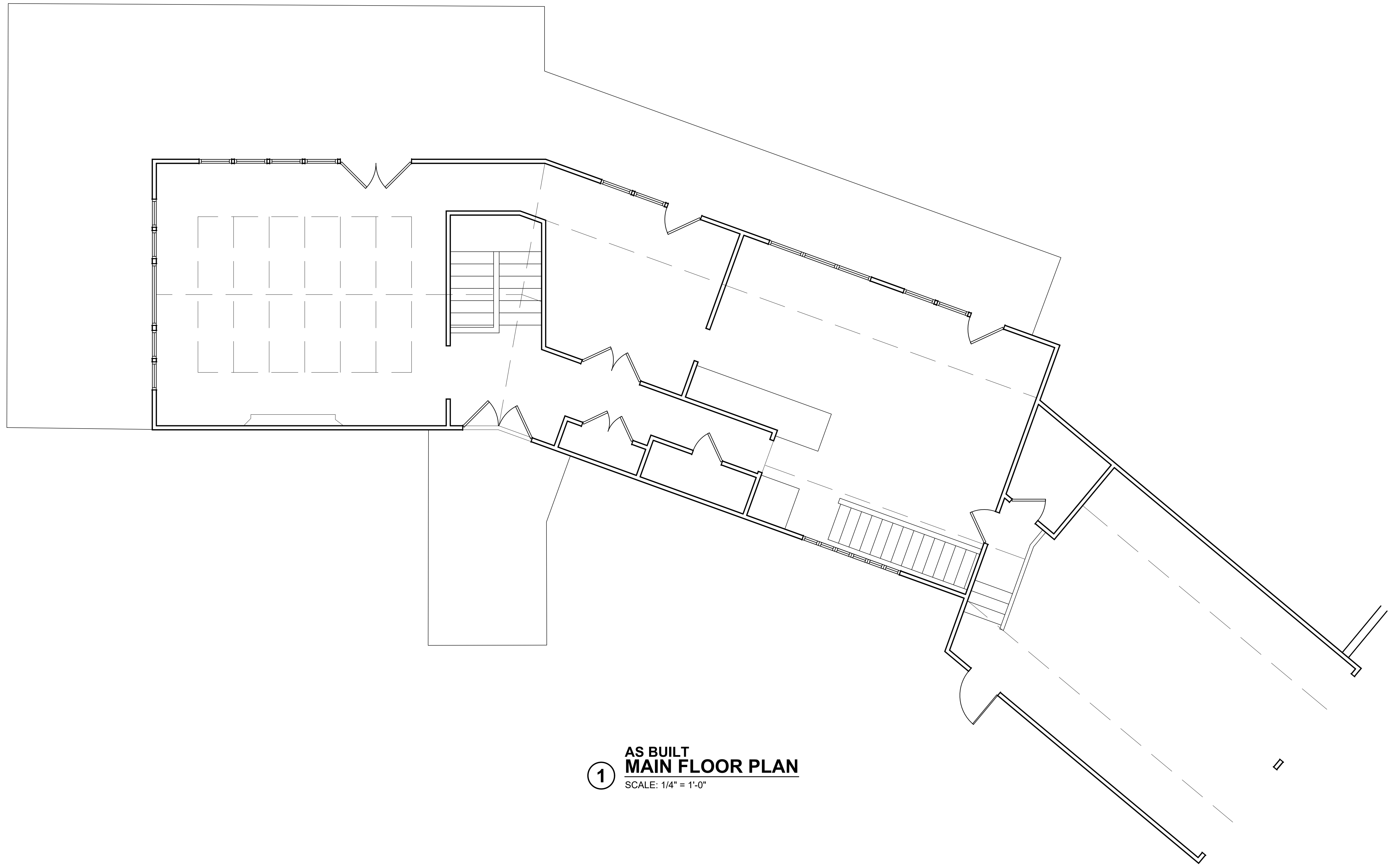
AB1

AS-BUILT LOWER FLOOR PLAN

RAWSON REMODEL
 8413 SE 82ND ST
 MERCER ISLAND, WA 98040

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1 AS BUILT MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

AS-BUILT MAIN FLOOR PLAN

REVISIONS:

PLOT DATE: 2/29/2024
 DRAWN BY: JM
 CHECKED BY: BJS

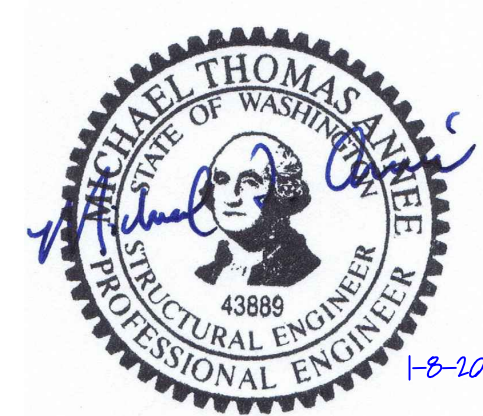
SHEET
AB2

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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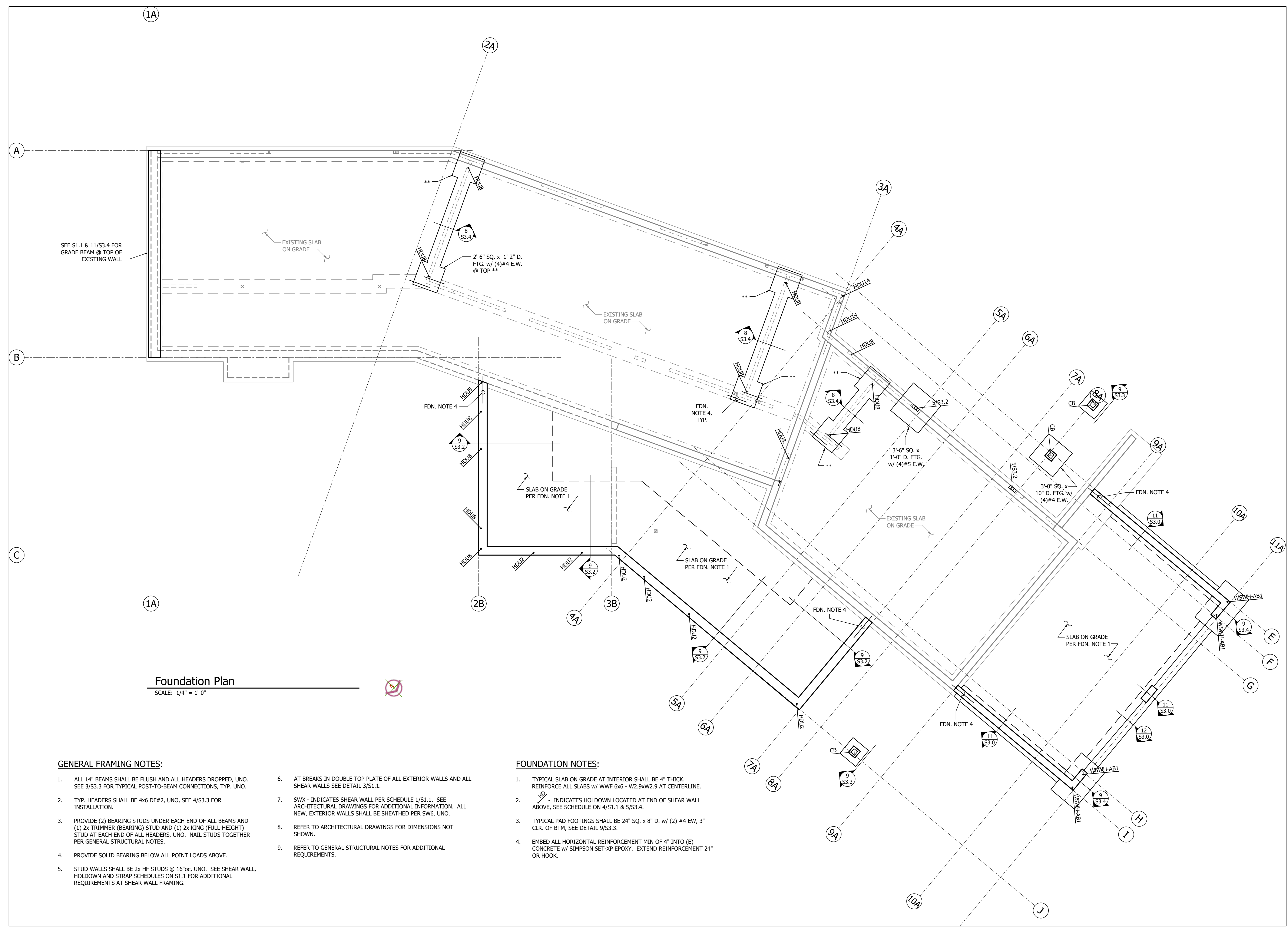
Rawson Remodel
8413 SE 82nd St, Mercer Island, WA 98040

Revision Issue Date Drawing Set

1/8/2024 Permit Set

Foundation Plan

S2.0



Foundation Plan
SCALE: 1/4" = 1'-0"

GENERAL FRAMING NOTES:

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.3 FOR TYPICAL POST-TO-BEAM CONNECTIONS, TYP. UNO.
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.3 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.

FOUNDATION NOTES:

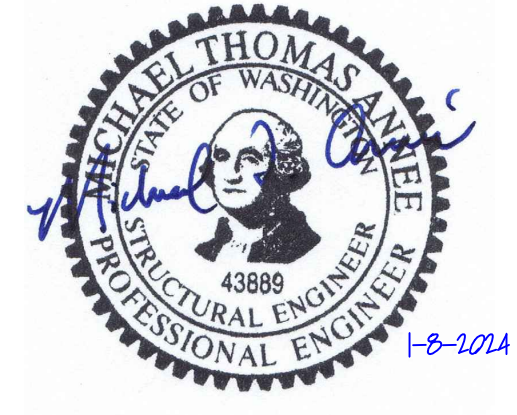
- TYPICAL SLAB ON GRADE AT INTERIOR SHALL BE 4" THICK. REINFORCE ALL SLABS w/ WWF 6x6 - W2.9xW2.9 AT CENTERLINE.
- HD - INDICATES HOLDDOWN LOCATED AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 4/S1.1 & 5/S3.4.
- TYPICAL PAD FOOTINGS SHALL BE 24" SQ. x 8" D. w/ (2) #4 EW, 3" CLR. OF BTM, SEE DETAIL 9/S3.3.
- EMBED ALL HORIZONTAL REINFORCEMENT MIN OF 4" INTO (E) CONCRETE w/ SIMPSON SET-XP EPOXY. EXTEND REINFORCEMENT 24" OR HOOK.

- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWX - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.



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8413 SE 82nd St, Mercer Island, WA 98040

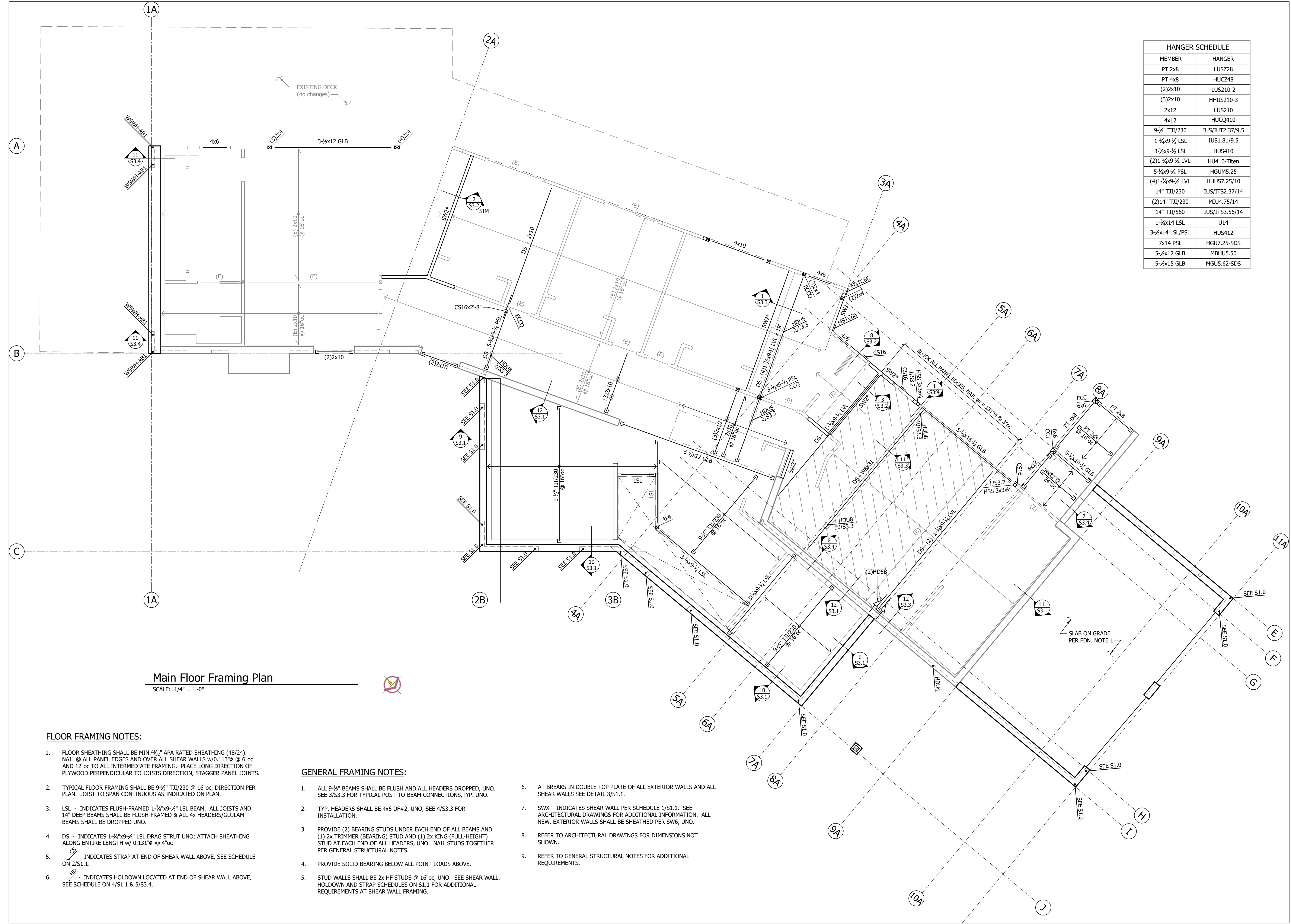
Revision Issue Date Drawing Set

1/8/2024 Permit Set

Main Floor Framing Plan

S2.1

HANGER SCHEDULE	
MEMBER	HANGER
PT 2x8	LUS228
PT 4x8	HUC248
(2)2x10	LUS210-2
(3)2x10	HHUS210-3
2x12	LUS210
4x12	HUCQ410
9-1/2" TJI/230	IUS/IUT2.37/9.5
1-3/4"x9-1/2" LSL	IUS1.81/9.5
3-1/2"x9-1/2" LSL	HUS410
(2)1-3/4"x9-1/2" LVL	HU410-Titen
5-1/4"x9-1/2" PSL	HGUM5.25
(4)1-3/4"x9-1/2" LVL	HHUS7.25/10
14" TJI/230	IUS/ITS2.37/14
(2)14" TJI/230	MIU4.75/14
14" TJI/560	IUS/ITS3.56/14
1-3/4"x14 LSL	U14
3-1/2"x14 LSL/PSL	HUS412
7x14 PSL	HGU7.25-SDS
5-1/2"x12 GLB	MBHUS.50
5-1/2"x15 GLB	MGUS.62-SDS



Main Floor Framing Plan
SCALE: 1/4" = 1'-0"

FLOOR FRAMING NOTES:

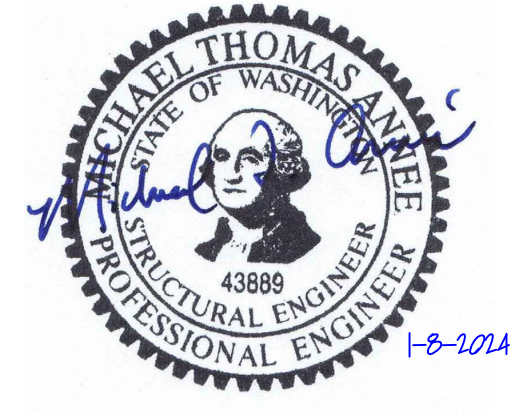
- FLOOR SHEATHING SHALL BE MIN 3/8" APA RATED SHEATHING (48/24). NAIL @ ALL PANEL EDGES AND OVER ALL SHEAR WALLS w/0.113" @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOISTS DIRECTION, STAGGER PANEL JOINTS.
- TYPICAL FLOOR FRAMING SHALL BE 9-1/2" TJI/230 @ 16"oc, DIRECTION PER PLAN. JOIST TO SPAN CONTINUOUS AS INDICATED ON PLAN.
- LSL - INDICATES FLUSH-FRAMED 1-3/4"x9-1/2" LSL BEAM. ALL JOISTS AND 14" DEEP BEAMS SHALL BE FLUSH-FRAMED & ALL 4x4 HEADERS/GLULAM BEAMS SHALL BE DROPPED UNO.
- DS - INDICATES 1-3/4"x9-1/2" LSL DRAG STRUT UNO; ATTACH SHEATHING ALONG ENTIRE LENGTH w/ 0.131" @ 4"oc
- SWX - INDICATES STRAP AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 2/S1.1.
- UNO - INDICATES HOLDDOWN LOCATED AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 4/S1.1 & 5/S3.4.

GENERAL FRAMING NOTES:

- ALL 9-1/2" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.3 FOR TYPICAL POST-TO-BEAM CONNECTIONS, TYP. UNO.
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.3 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.
- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWX - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.



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Rawson Remodel
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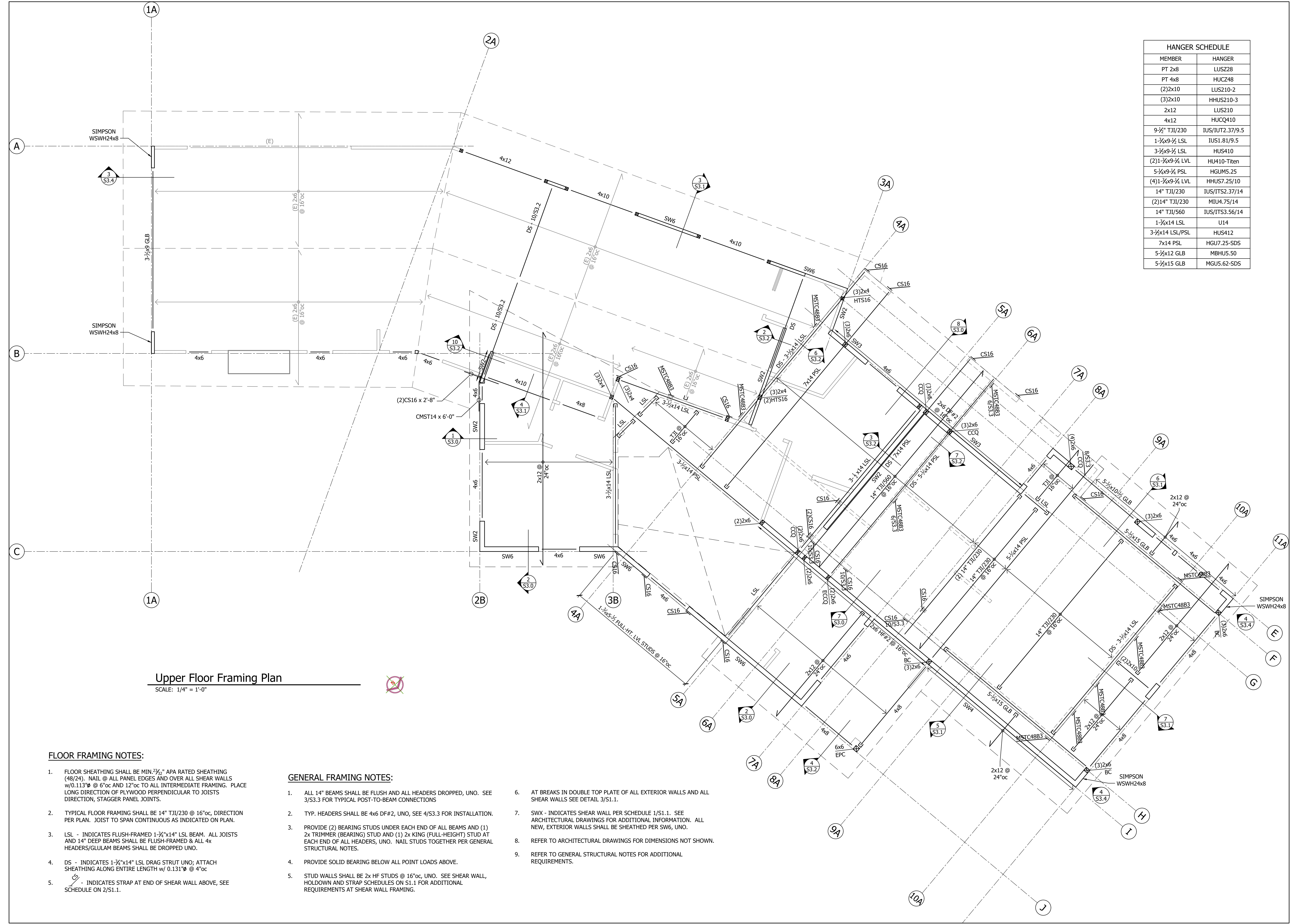
Revision Issue Date Drawing Set

1/8/2024 Permit Set

Upper Floor Framing Plan

S2.2

HANGER SCHEDULE	
MEMBER	HANGER
PT 4x8	LUS228
PT 4x8	HUC248
(2)2x10	LUS210-2
(3)2x10	HHUS210-3
2x12	LUS210
4x12	HUCQ410
9-1/2" TJI/230	IUS/IUT2.37/9.5
1-3/4x9-1/2 LSL	IUS1.81/9.5
3-3/4x9-1/2 LSL	HUS410
(2)1-3/4x9-1/2 LVL	HU410-Titen
5-3/4x9-1/2 PSL	HGUM5.25
(4)1-3/4x9-1/2 LVL	HHUS7.25/10
14" TJI/230	IUS/ITS2.37/14
(2)14" TJI/230	MIU4.75/14
14" TJI/560	IUS/ITS3.56/14
1-3/4x14 LSL	U14
3-3/4x14 LSL/PSL	HUS412
7x14 PSL	HGU7.25-SDS
5-3/4x12 GLB	MBHUS.50
5-3/4x15 GLB	MGUS.62-SDS



Upper Floor Framing Plan
 SCALE: 1/4" = 1'-0"

FLOOR FRAMING NOTES:

- FLOOR SHEATHING SHALL BE MIN. 3/8" APA RATED SHEATHING (48/24). NAIL @ ALL PANEL EDGES AND OVER ALL SHEAR WALLS W/ 0.131" @ 6" oc AND 12" oc TO ALL INTERMEDIATE FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOISTS DIRECTION, STAGGER PANEL JOINTS.
- TYPICAL FLOOR FRAMING SHALL BE 14" TJI/230 @ 16" oc, DIRECTION PER PLAN. JOIST TO SPAN CONTINUOUS AS INDICATED ON PLAN.
- LSL - INDICATES FLUSH-FRAMED 1-3/4"x14" LSL BEAM. ALL JOISTS AND 14" DEEP BEAMS SHALL BE FLUSH-FRAMED & ALL 4x HEADERS/GLULAM BEAMS SHALL BE DROPPED UNO.
- DS - INDICATES 1-3/4"x14" LSL DRAG STRUT UNO; ATTACH SHEATHING ALONG ENTIRE LENGTH W/ 0.131" @ 4" oc
- ⊖ - INDICATES STRAP AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 2/S1.1.

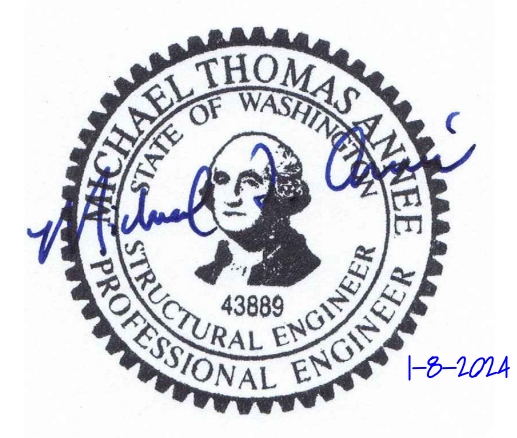
GENERAL FRAMING NOTES:

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.3 FOR TYPICAL POST-TO-BEAM CONNECTIONS
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.3 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16" oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.
- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWX - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

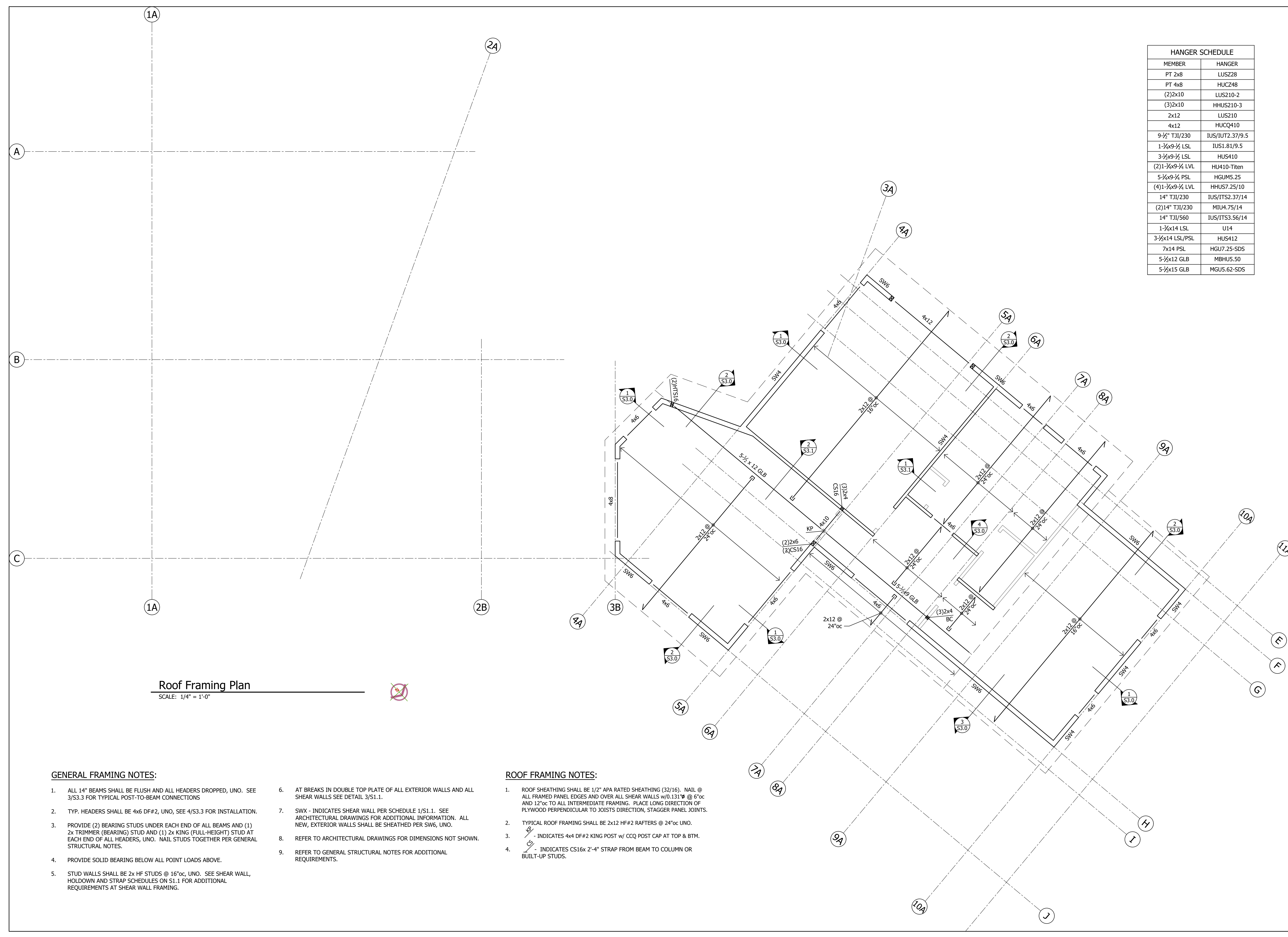


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HANGER SCHEDULE	
MEMBER	HANGER
PT 4x8	LUS228
PT 4x8	HUC248
(2)2x10	LUS210-2
(3)2x10	HHUS210-3
2x12	LUS210
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3-1/2x9-1/2 LSL	HUS410
(2)1-3/4x9-1/2 LVL	HU410-Titen
5-1/4x9-1/2 PSL	HGUM5.25
(4)1-3/4x9-1/2 LVL	HHUS7.25/10
14" TJI/230	IUS/ITS2.37/14
(2)14" TJI/230	MIU4.75/14
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7x14 PSL	HGU7.25-SDS
5-1/2x12 GLB	MBHUS.50
5-1/2x15 GLB	MGUS.62-SDS



Roof Framing Plan
SCALE: 1/4" = 1'-0"

GENERAL FRAMING NOTES:

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.3 FOR TYPICAL POST-TO-BEAM CONNECTIONS
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.3 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.
- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWX - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

ROOF FRAMING NOTES:

- ROOF SHEATHING SHALL BE 1/2" APA RATED SHEATHING (32/16). NAIL @ ALL FRAMED PANEL EDGES AND OVER ALL SHEAR WALLS w/0.131" @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOISTS DIRECTION, STAGGER PANEL JOINTS.
- TYPICAL ROOF FRAMING SHALL BE 2x12 HF#2 RAFTERS @ 24"oc UNO.
- INDICATES 4x4 DF#2 KING POST w/ CCQ POST CAP AT TOP & BTM.
- INDICATES CS16x 2'-4" STRAP FROM BEAM TO COLUMN OR BUILT-UP STUDS.

Revision Issue Date Drawing Set

1/8/2024 Permit Set

Roof Framing Plan

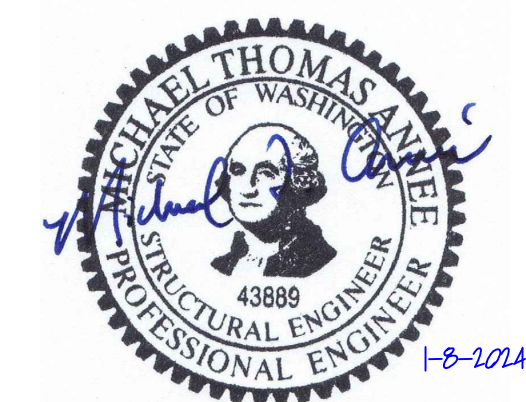
S2.3

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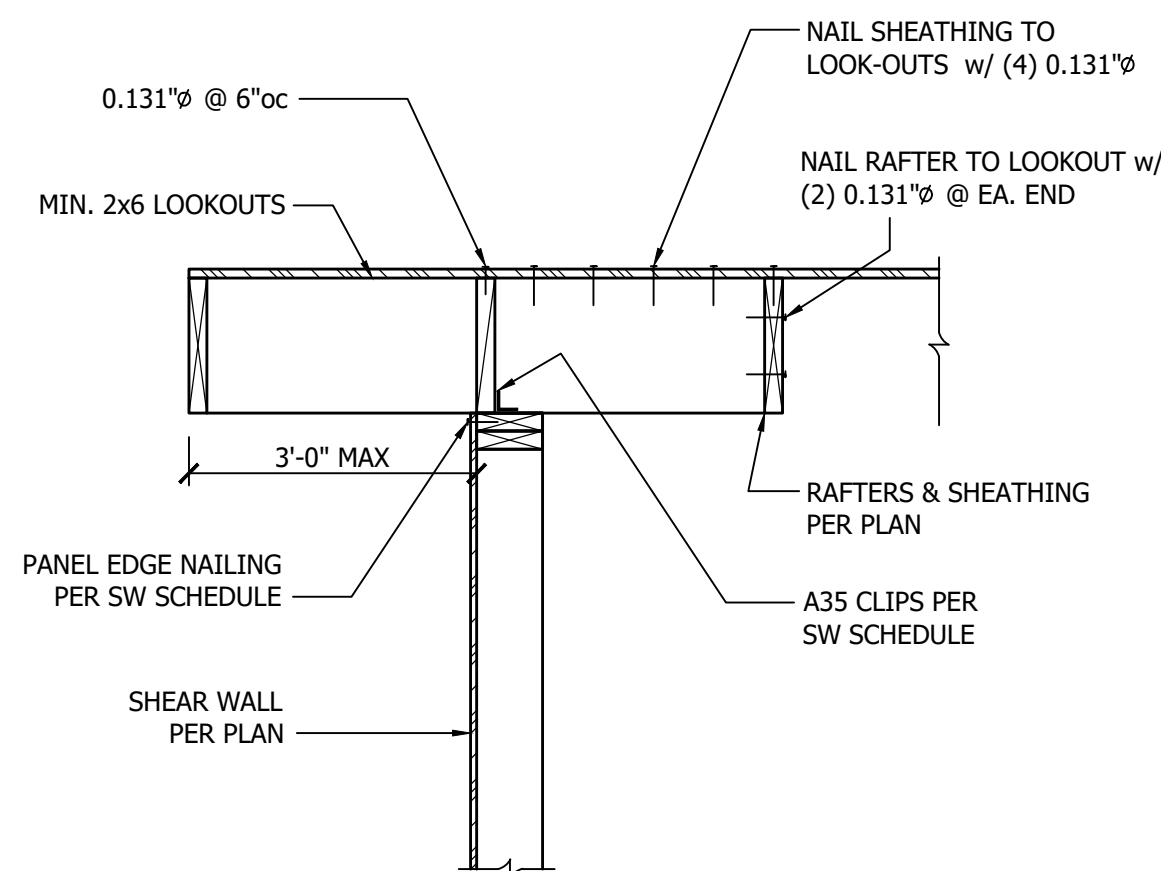
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Revision Issue Date Drawing Set

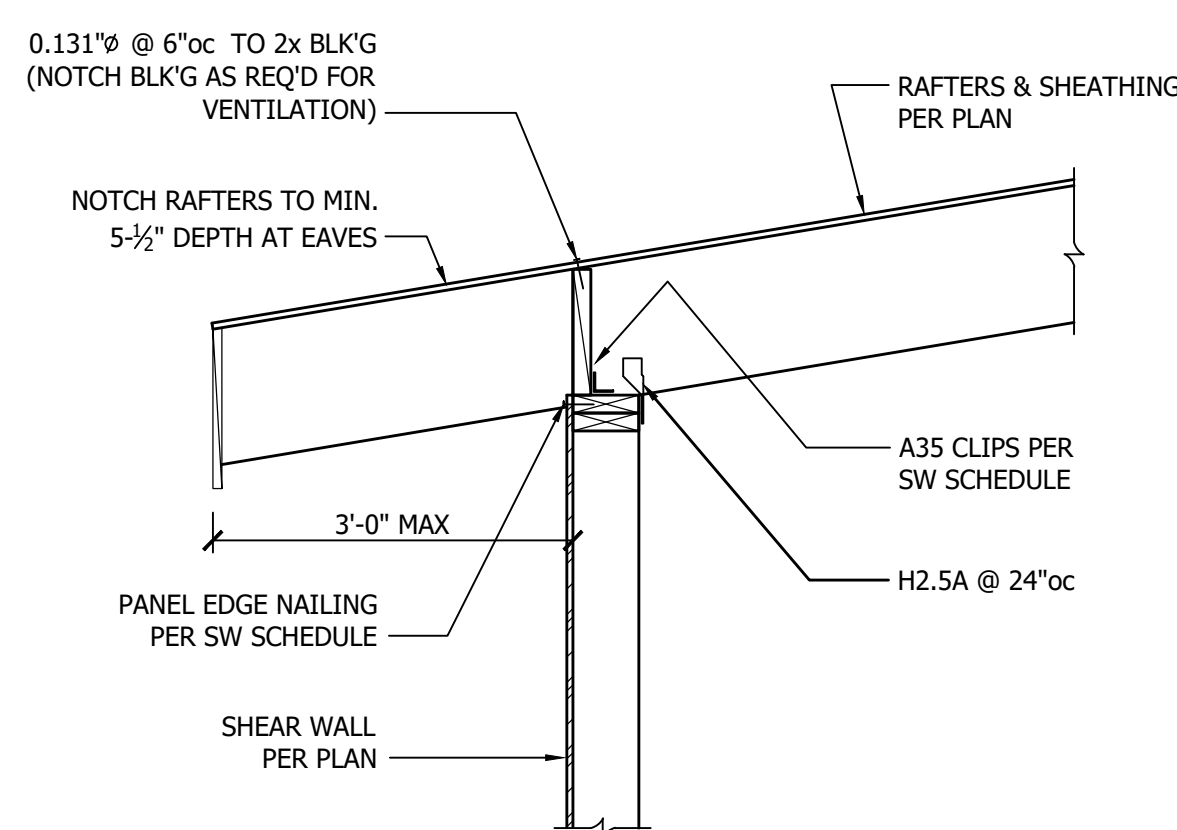
1/8/2024 Permit Set

Structural Details

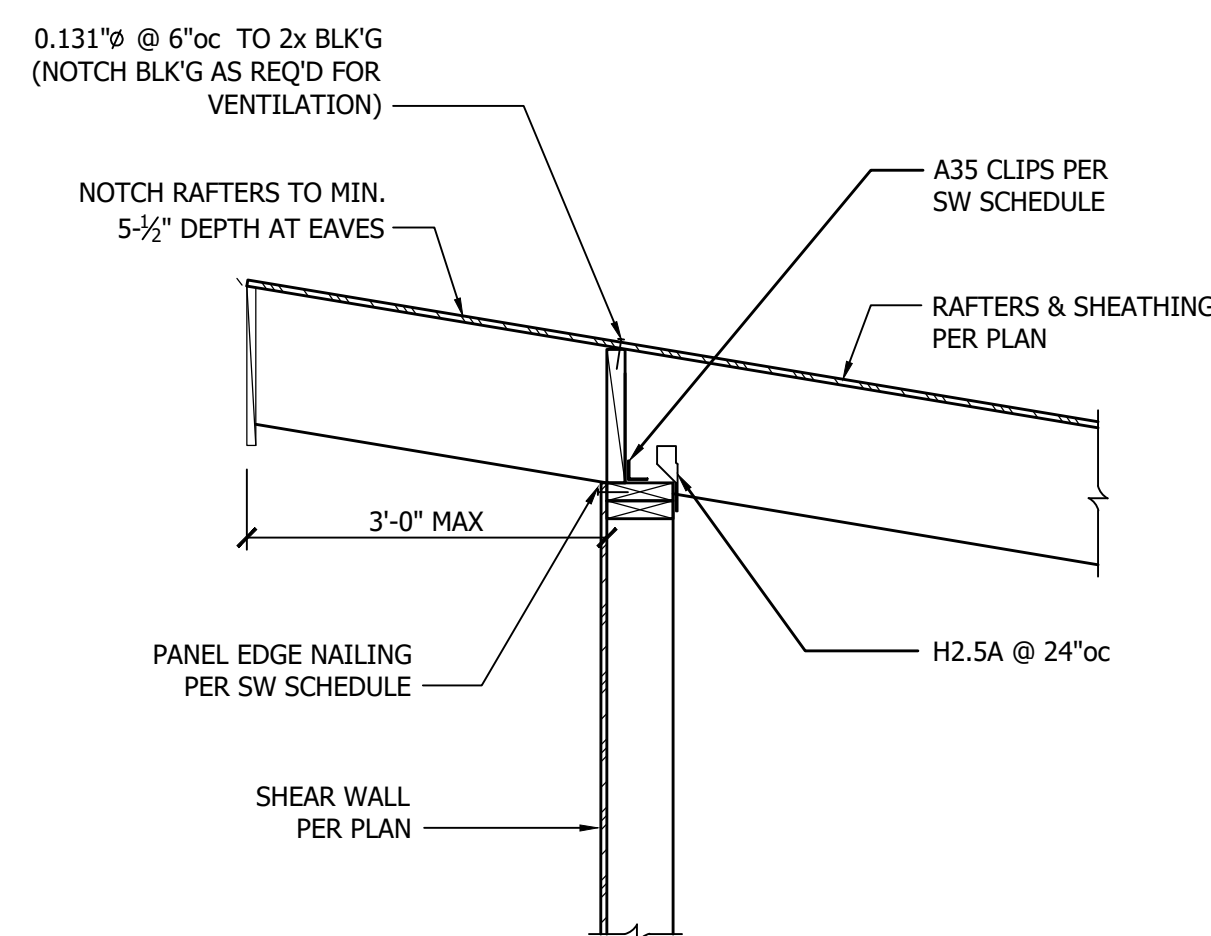
S3.0



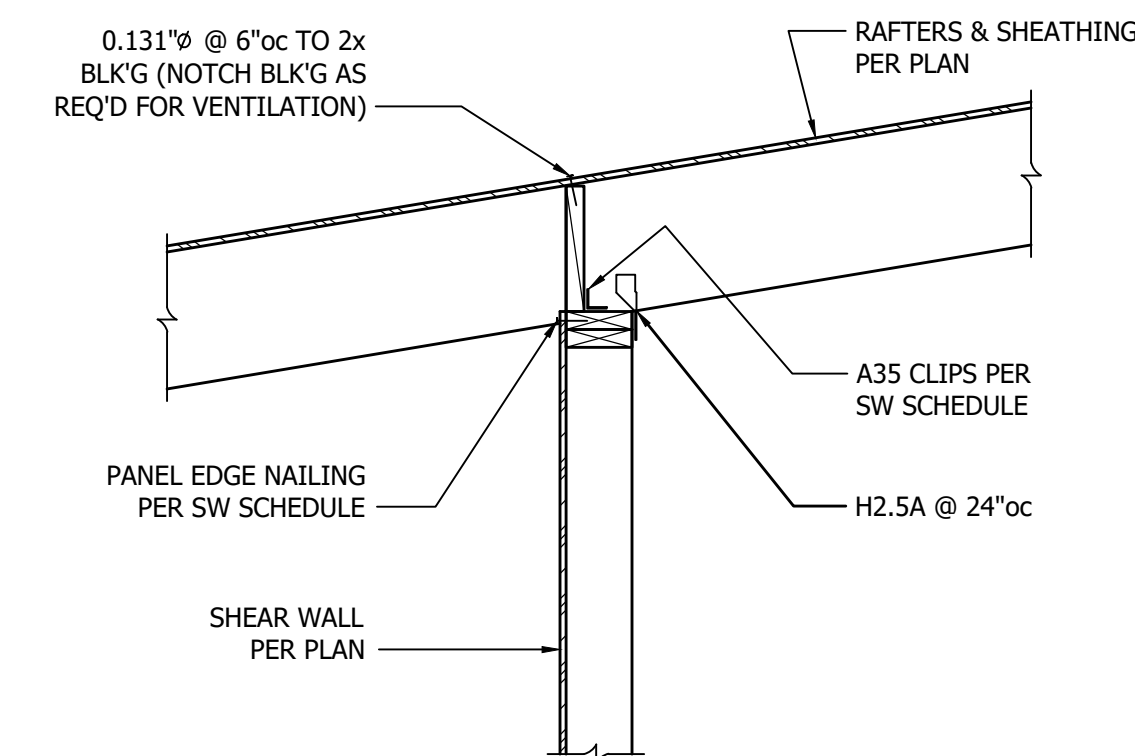
1 2x Rafter Parallel to Exterior Wall
3/4" = 1'-0"



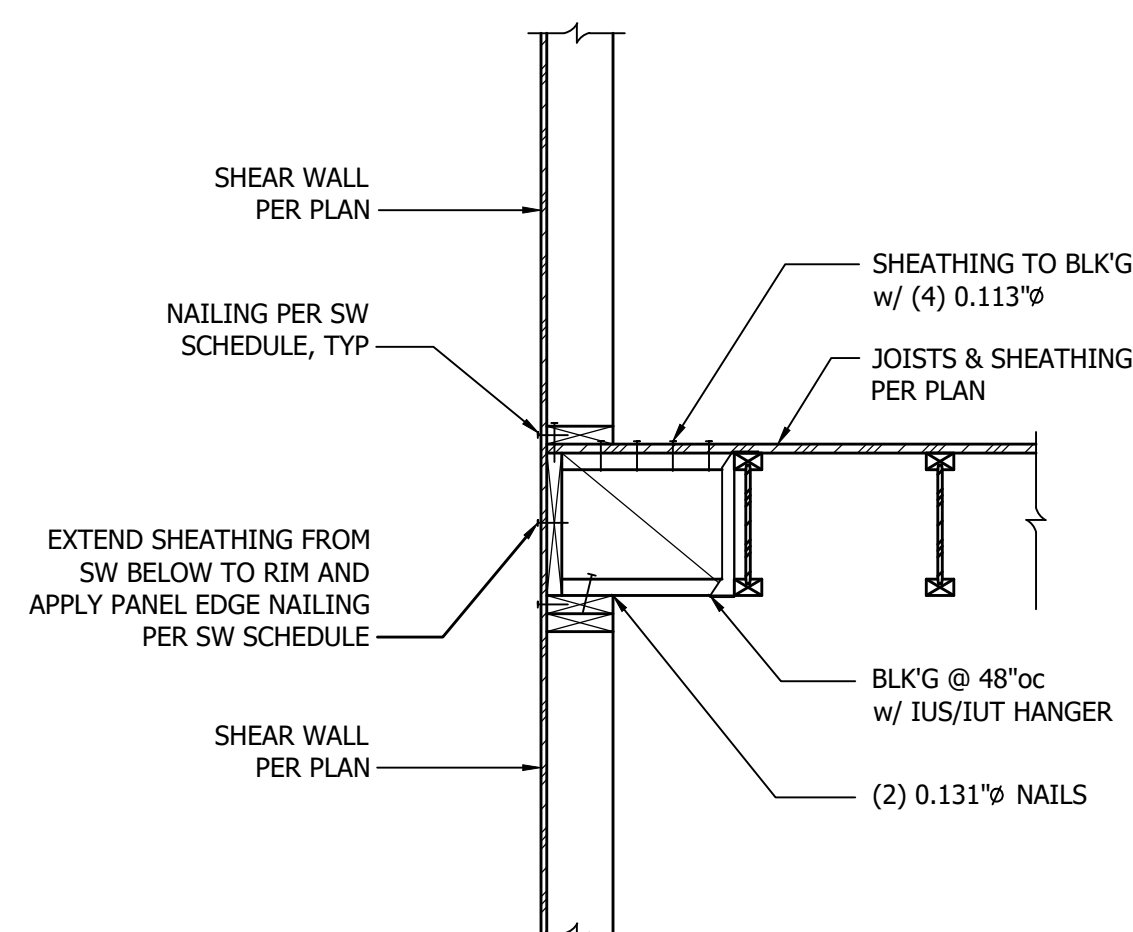
2 2x Rafters Perp. to Low Wall
3/4" = 1'-0"



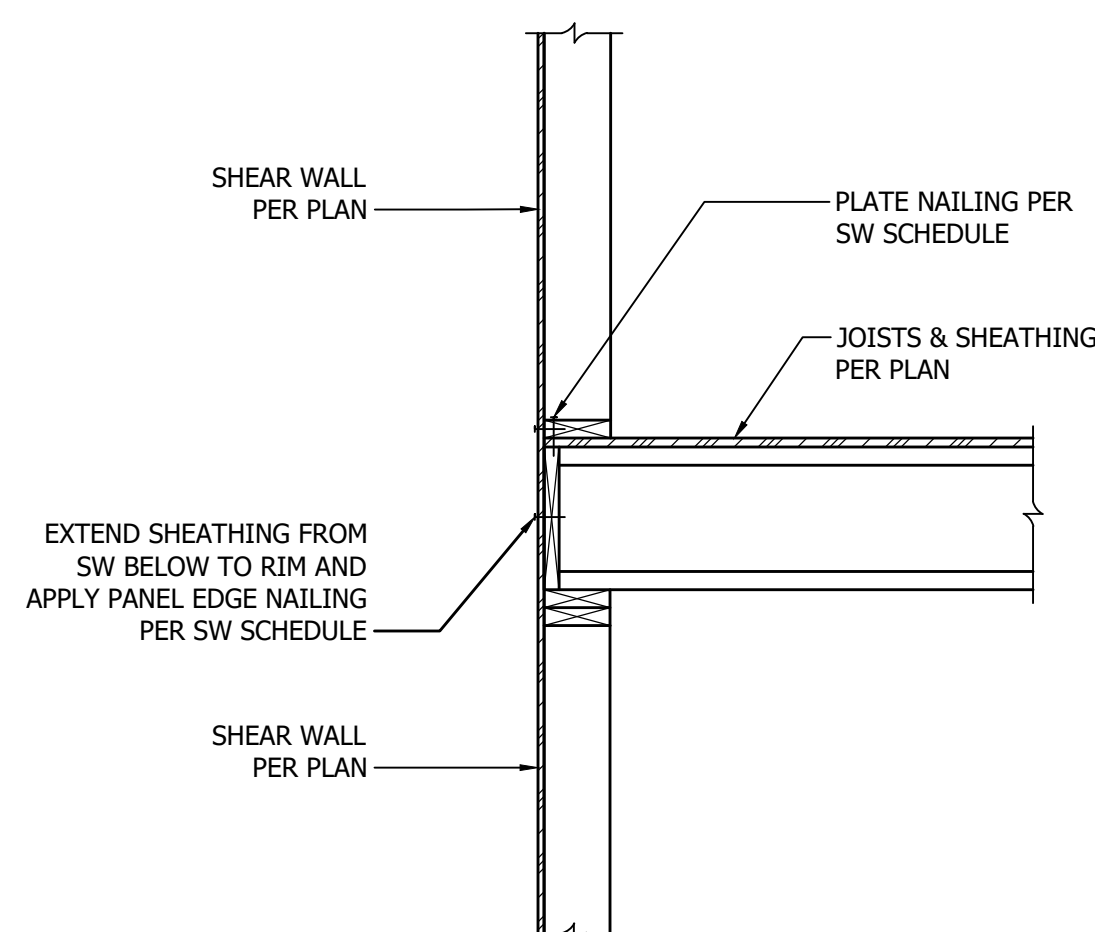
3 2x Rafters Perp. to High Wall
3/4" = 1'-0"



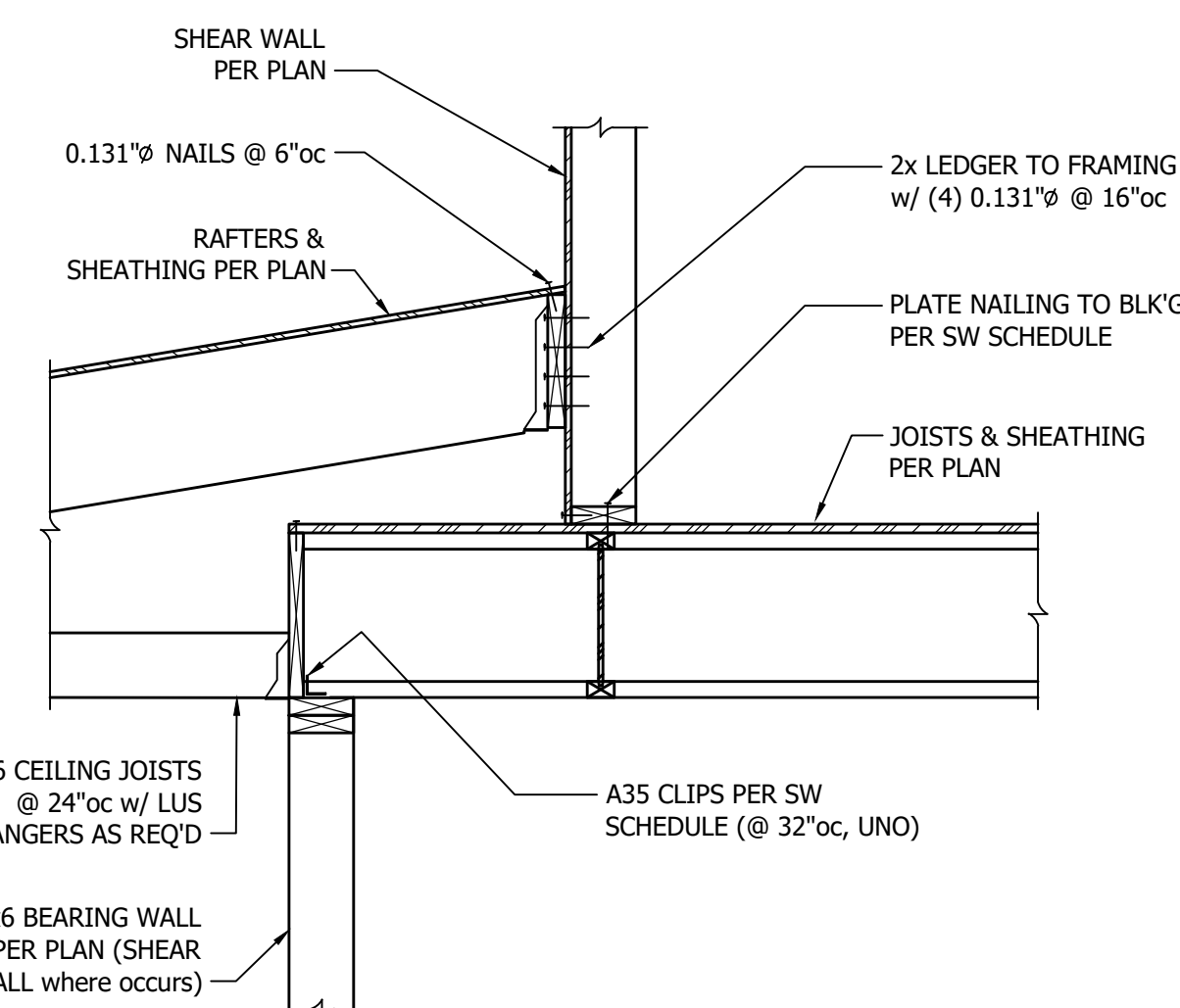
4 2x Rafters Perp. to Interior Wall
3/4" = 1'-0"



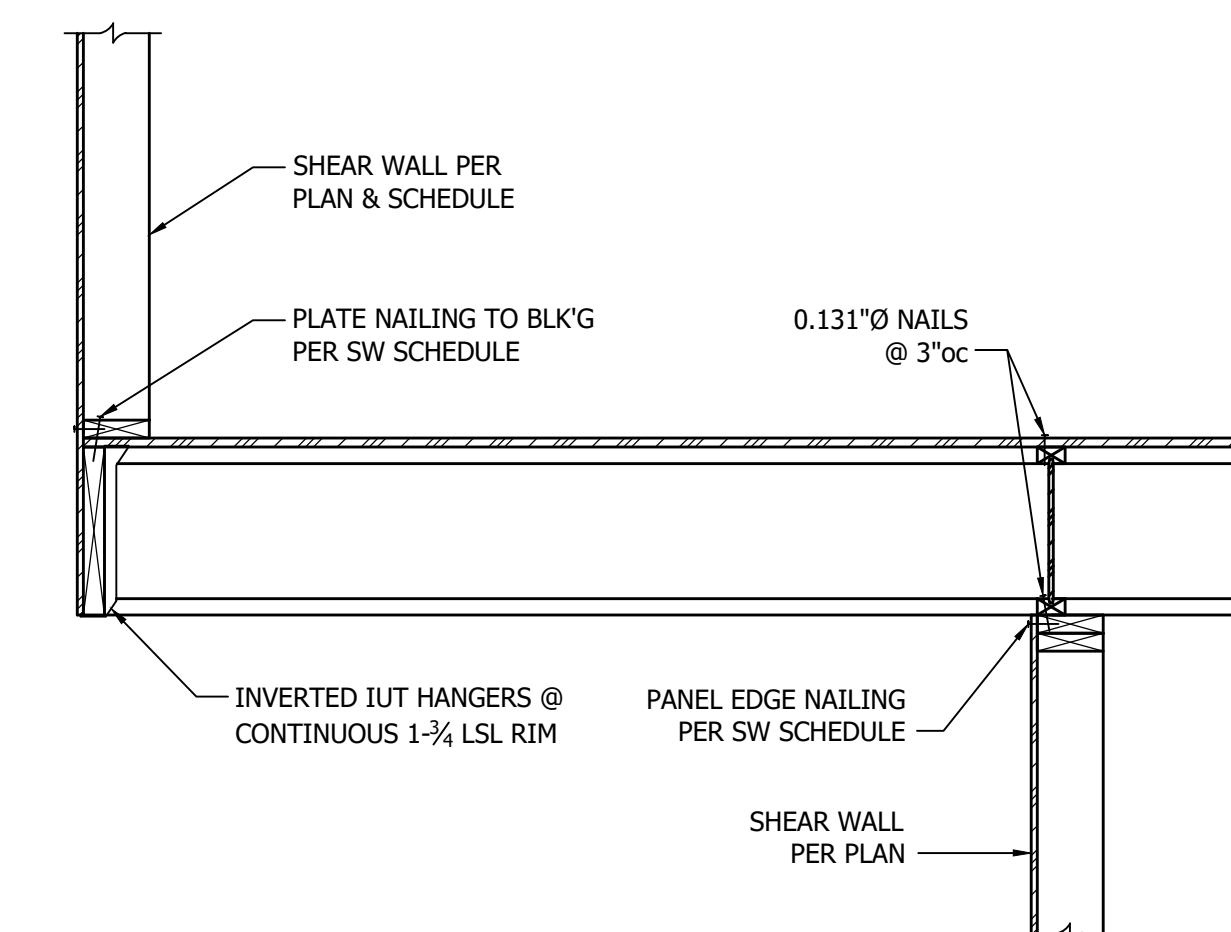
5 I-Joists Parallel to Exterior Wall
3/4" = 1'-0"



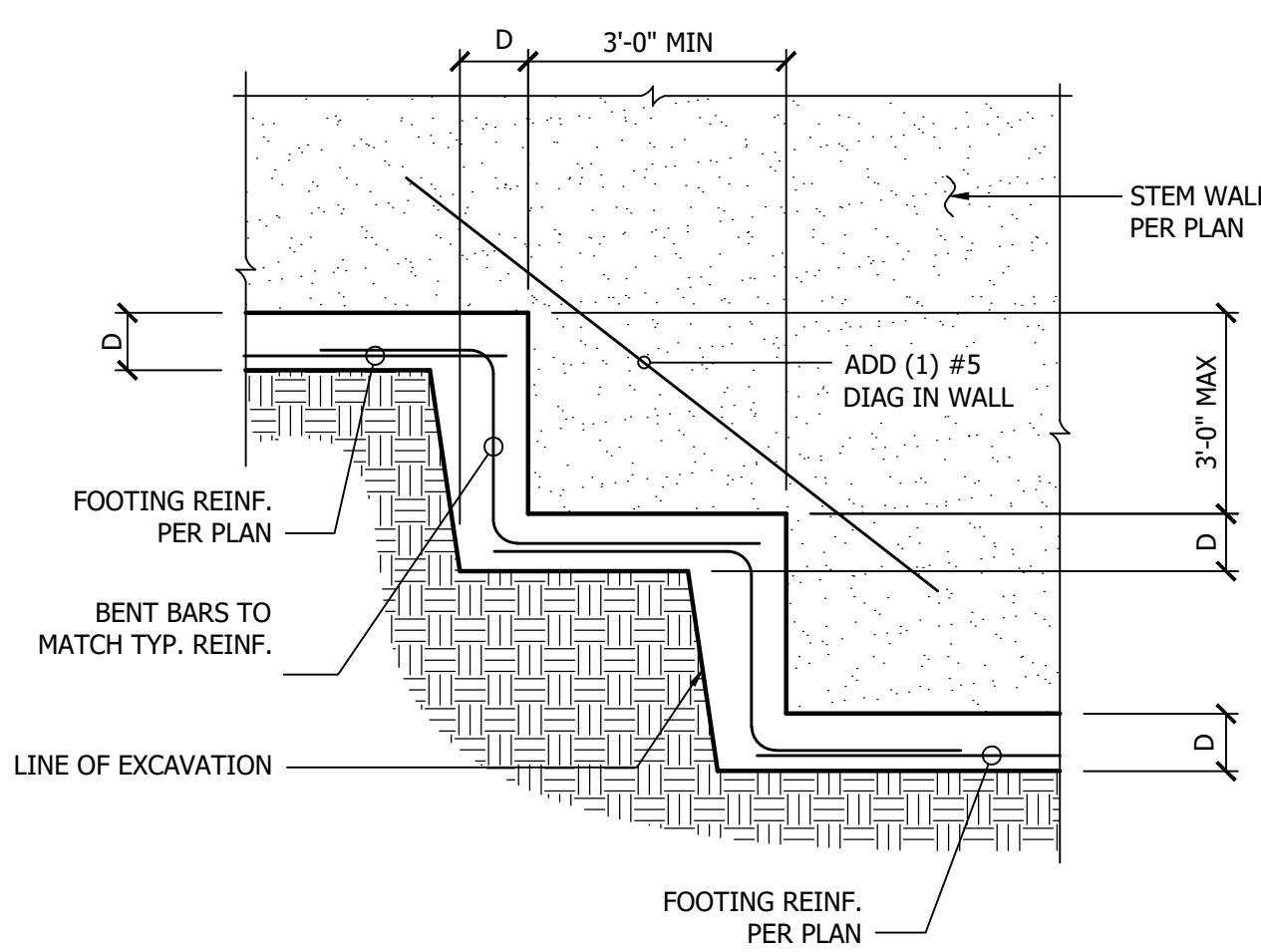
6 I-Joists Perpendicular to Exterior Wall
3/4" = 1'-0"



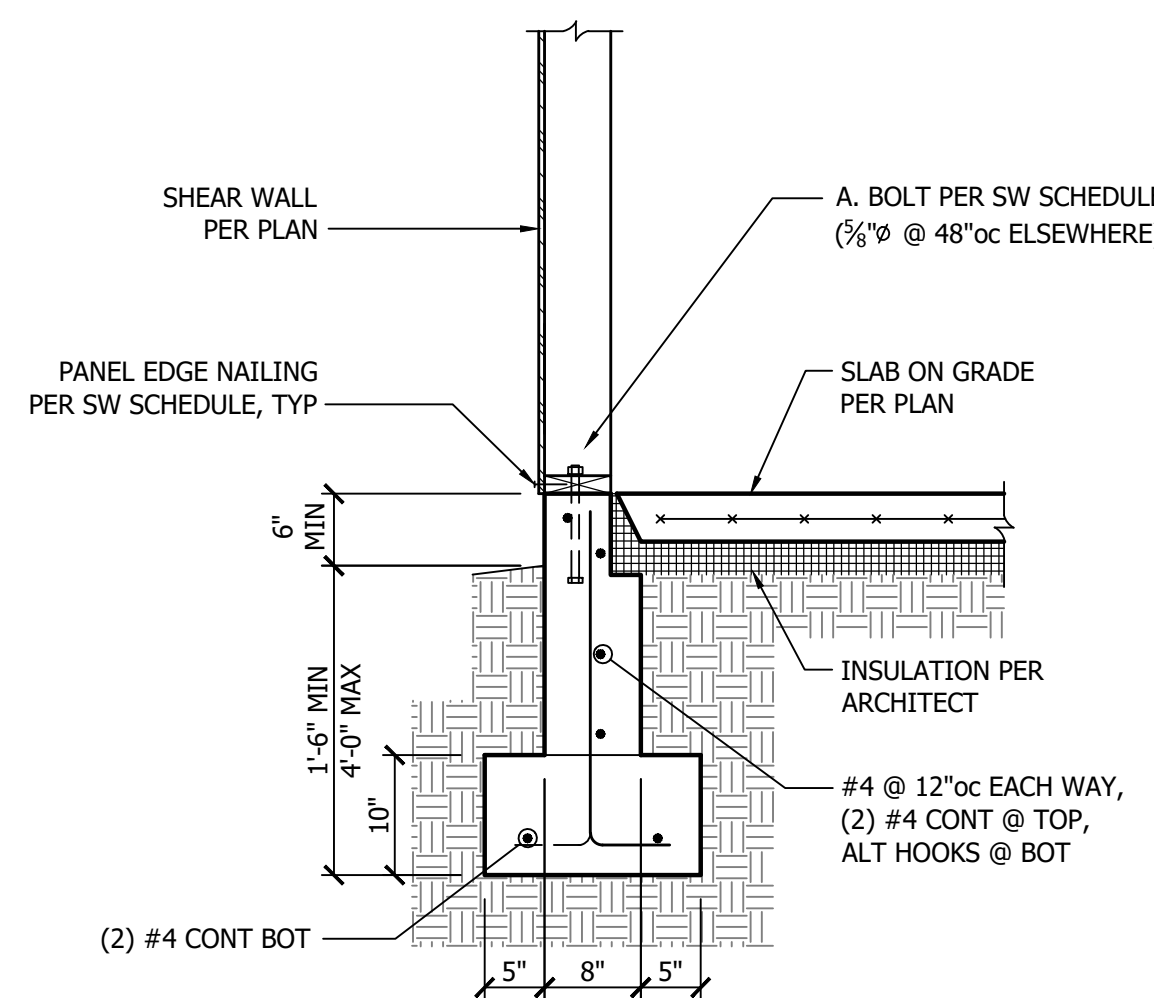
7 2x Low Roof at Parallel I-Joists
3/4" = 1'-0"



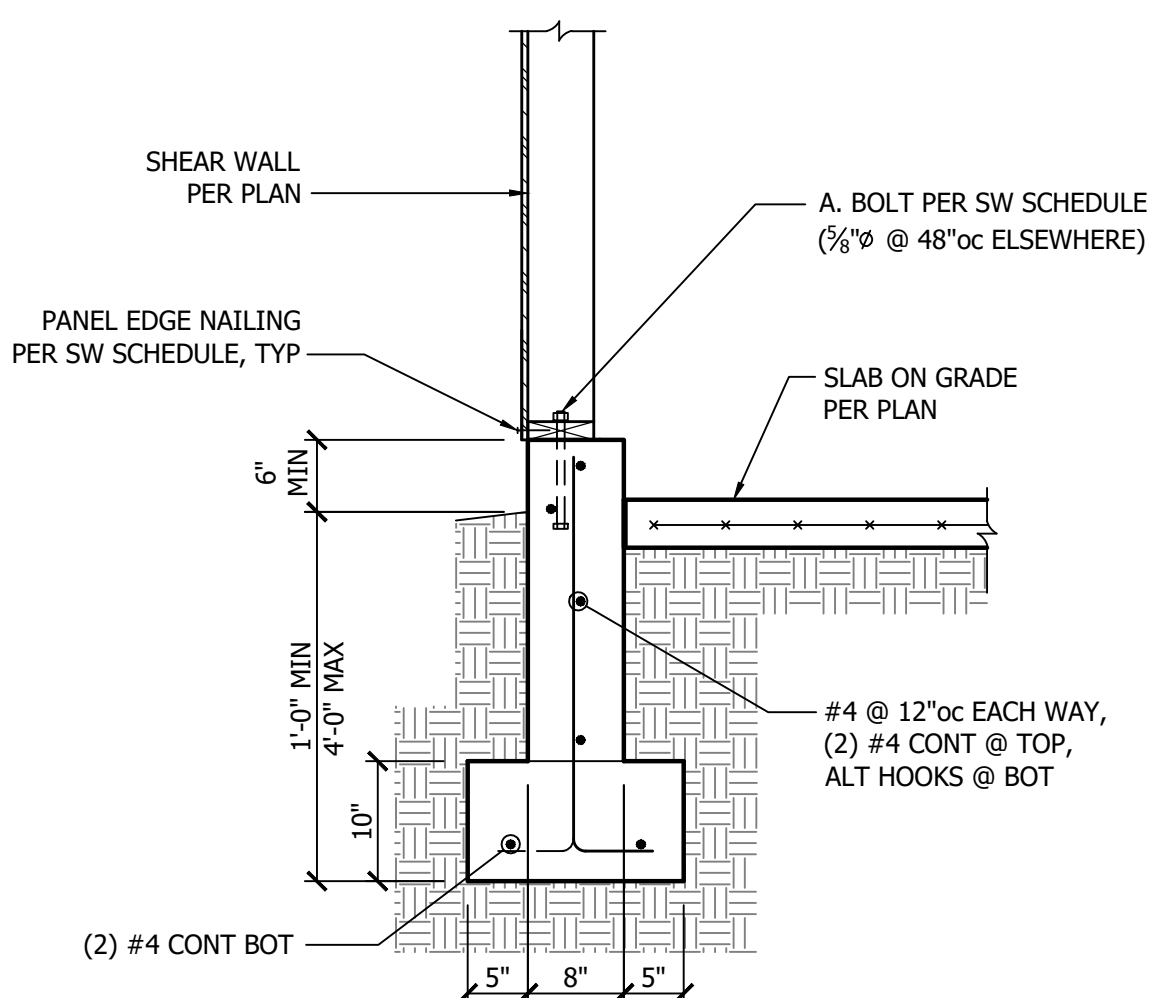
8 Shear Transfer @ Cantilevered I-Joists
3/4" = 1'-0"



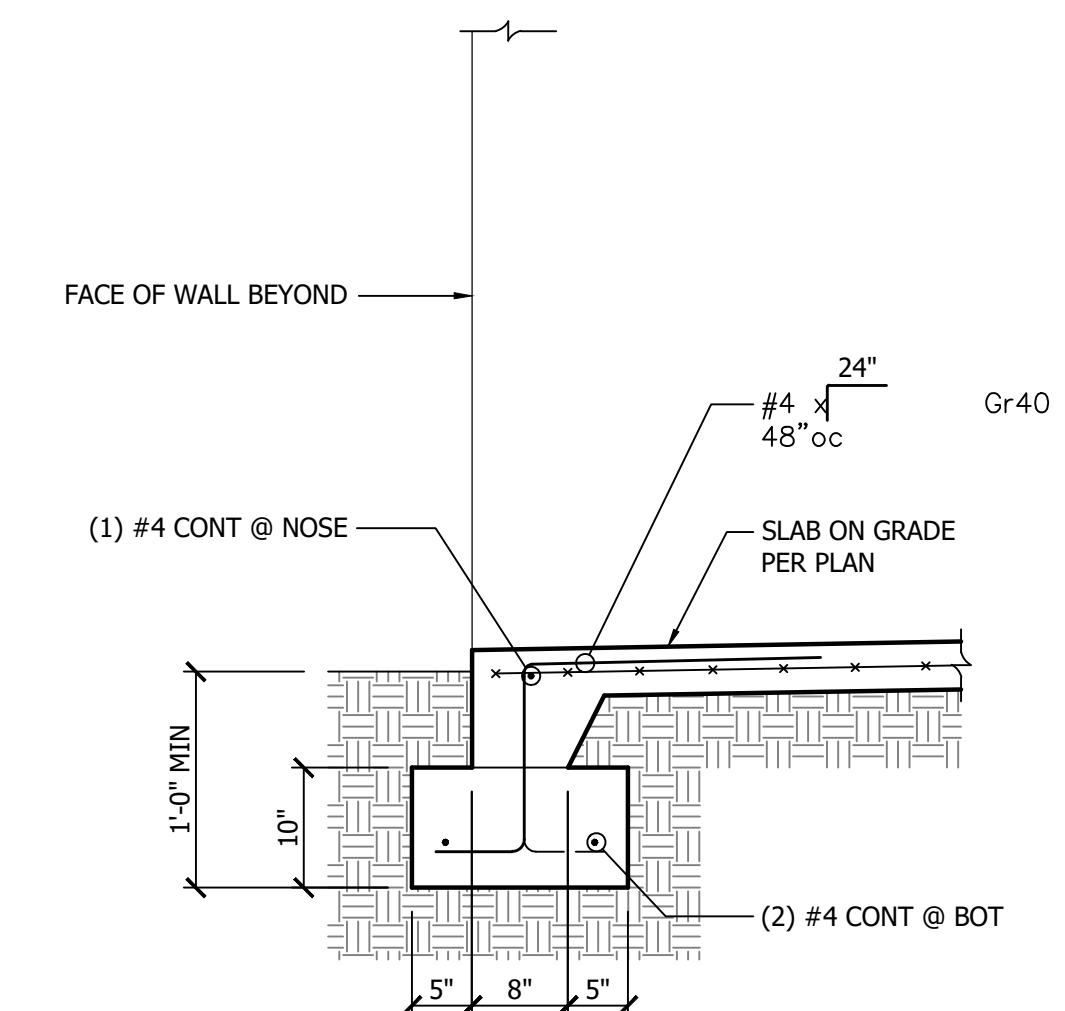
9 Stepped Footing, Typ.
3/4" = 1'-0"



10 Stem Wall/Footing @ Exterior Wall
3/4" = 1'-0"



11 Stem Wall/Footing @ Exterior Garage Wall
3/4" = 1'-0"

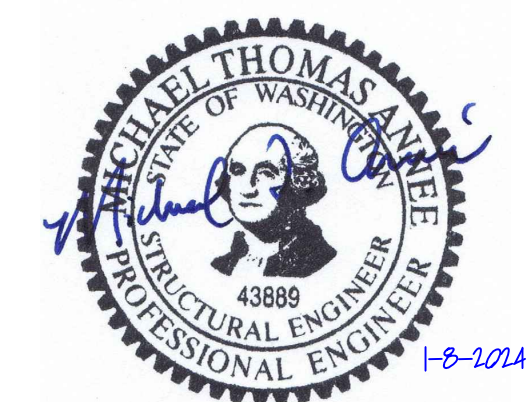


12 Footing @ Garage Opening
3/4" = 1'-0"



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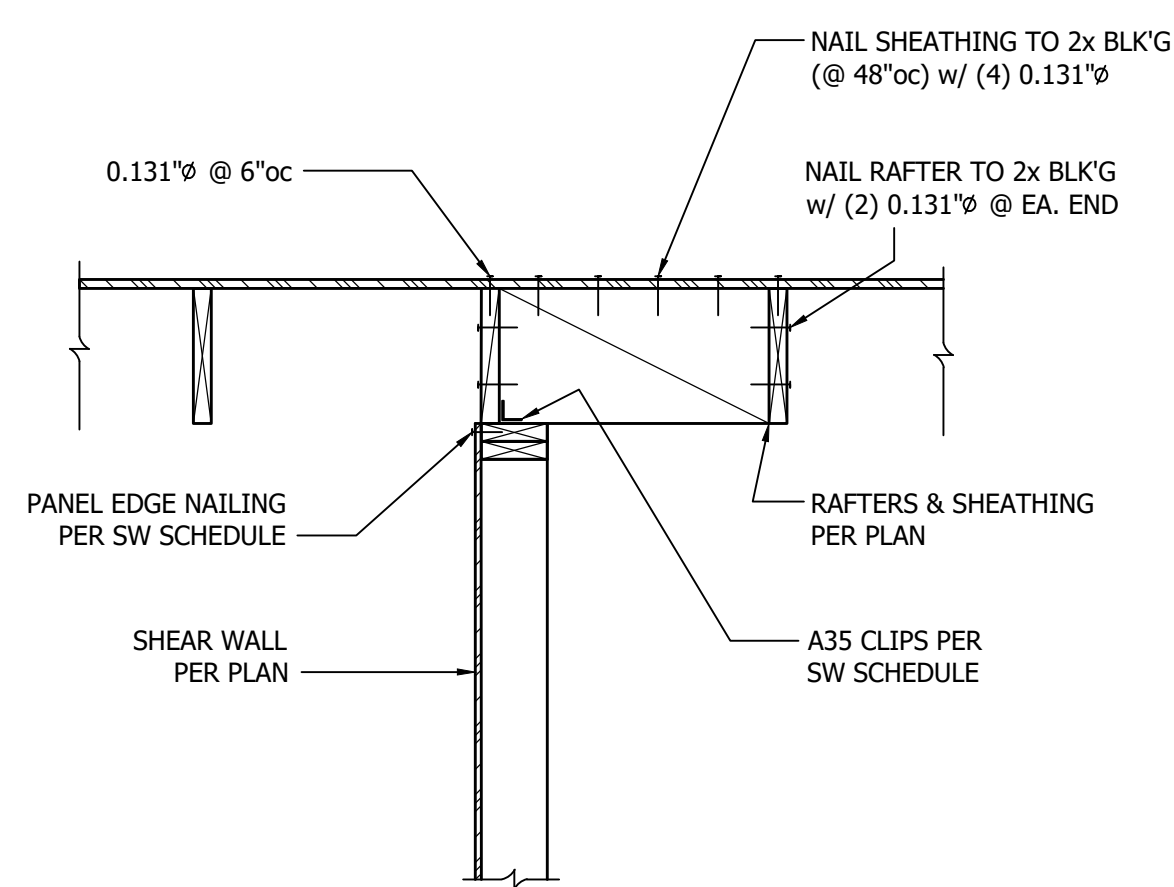
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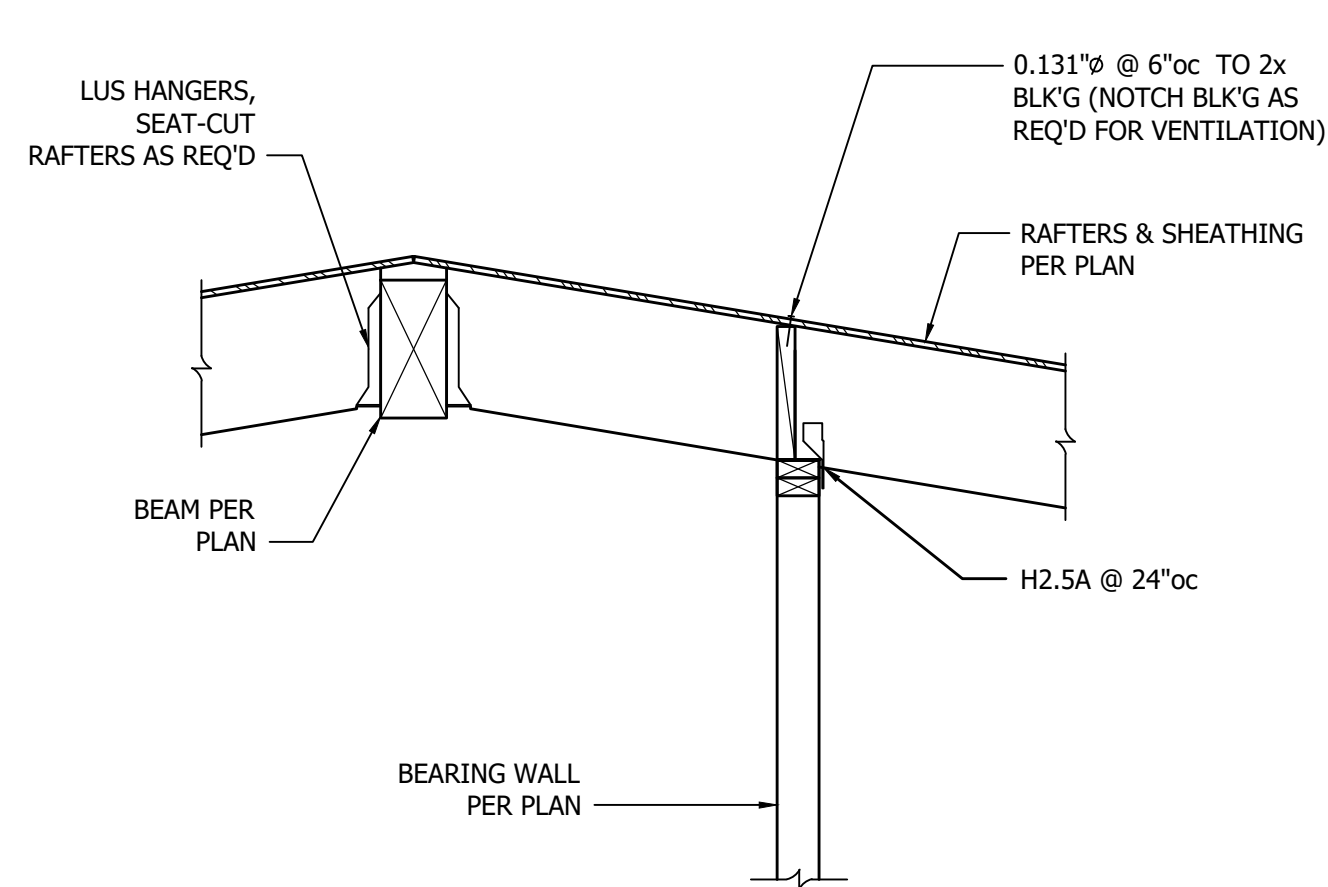
1/8/2024 Permit Set

Structural Details

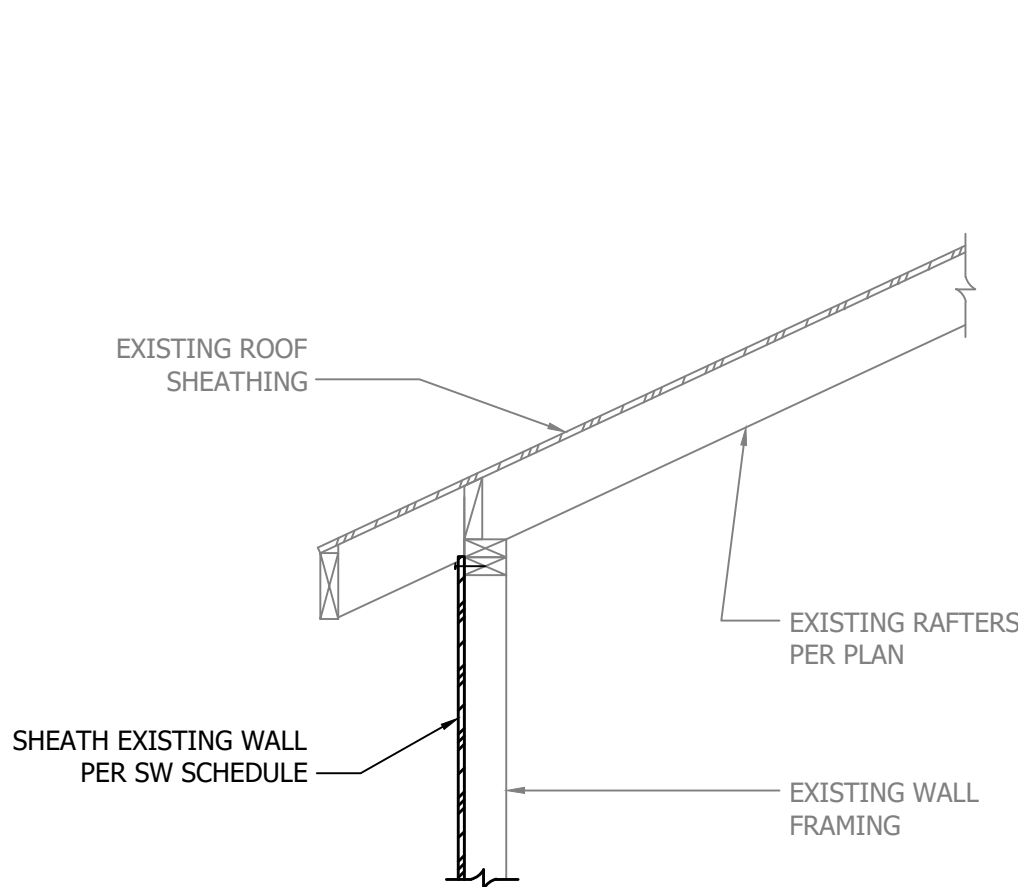
S3.1



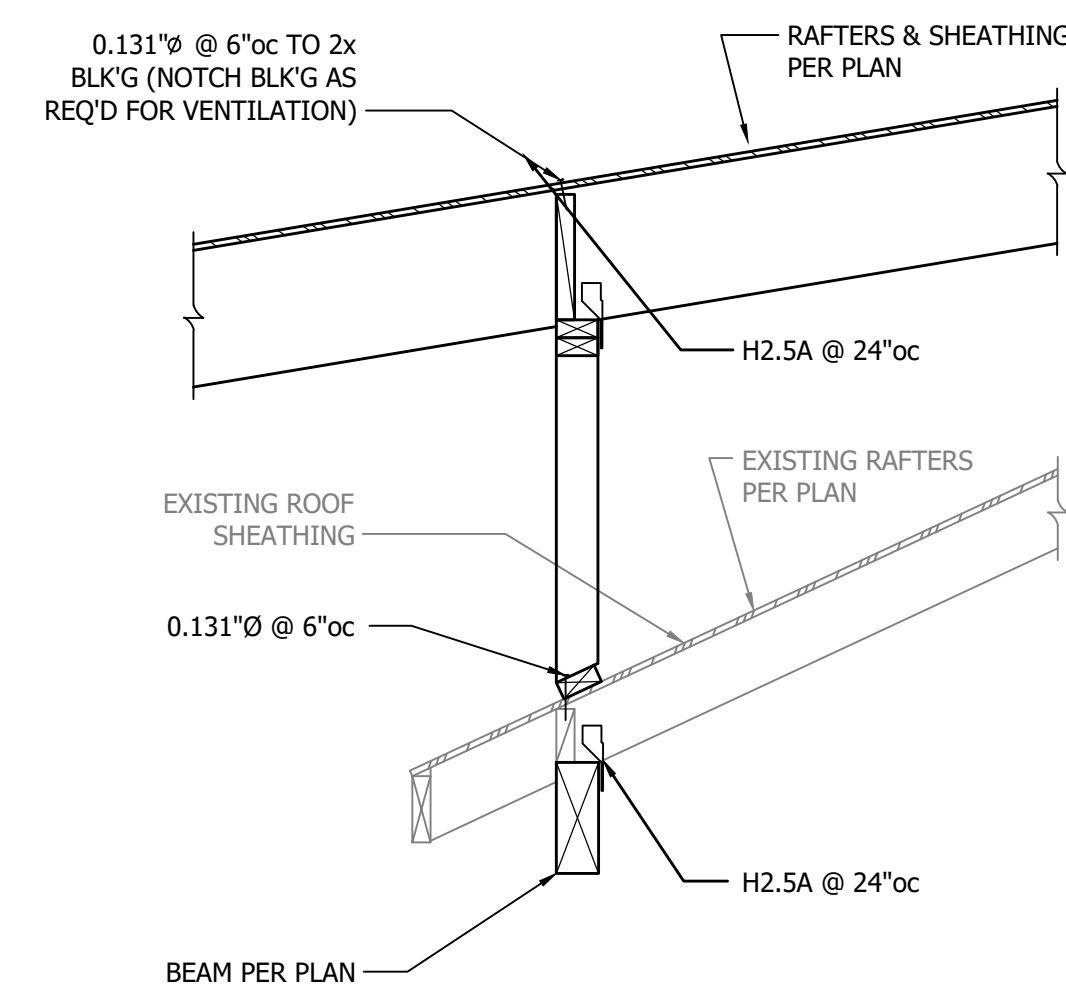
1 2x Rafter Parallel to Interior Shear Wall
3/4" = 1'-0"



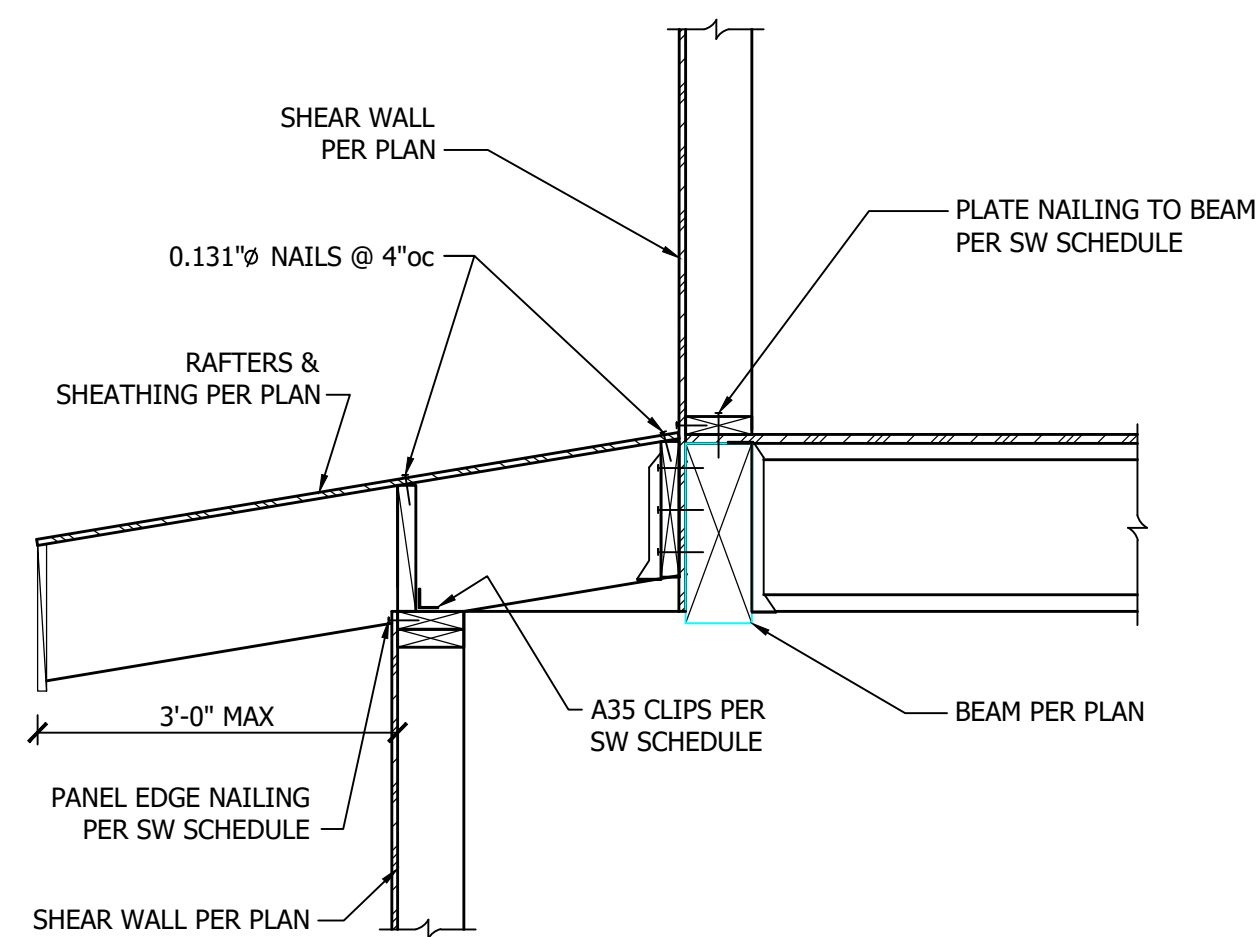
2 2x Rafters at Ridge & Interior Bearing Wall
3/4" = 1'-0"



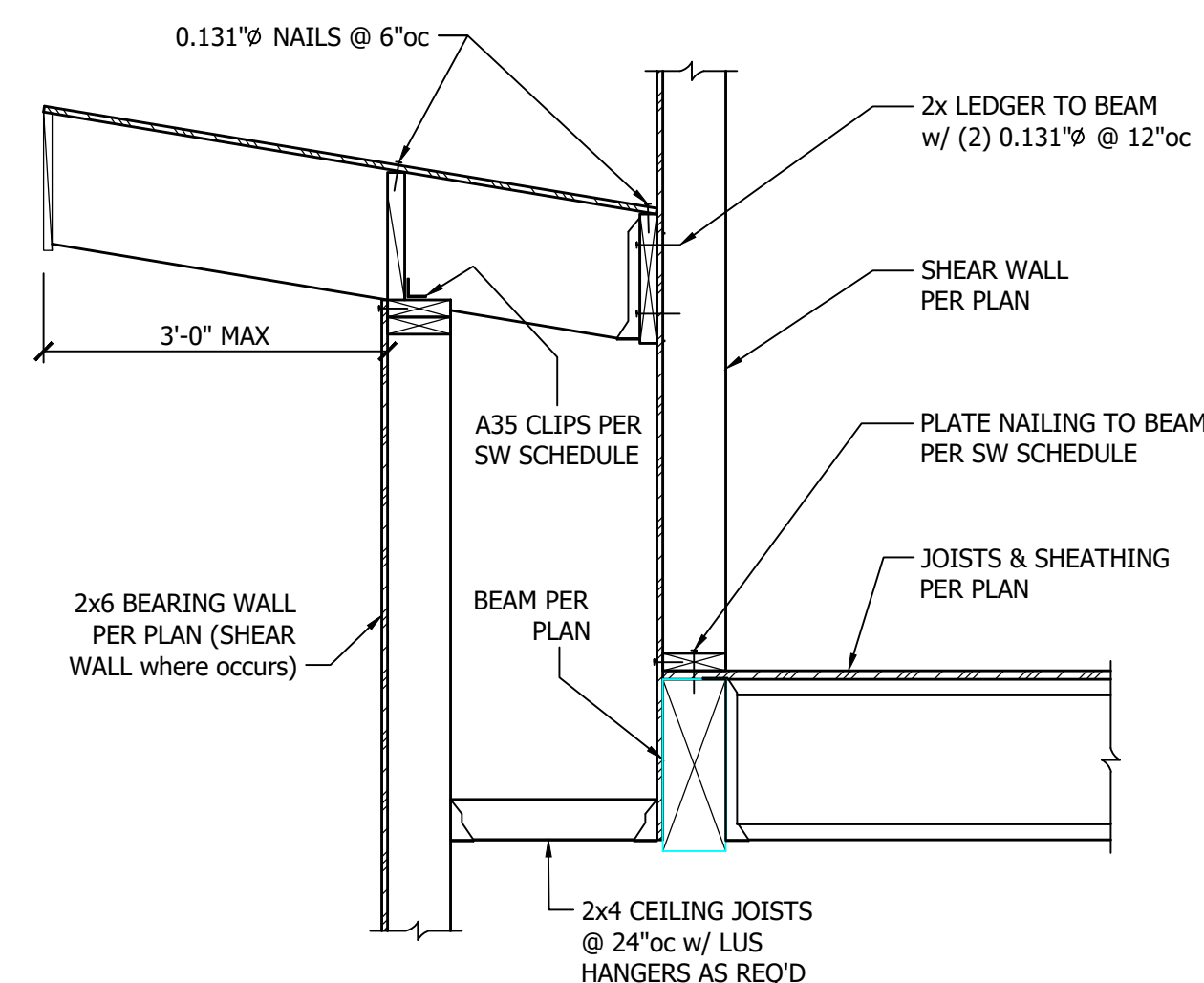
3 Shear Wall Sheathing at Existing, Exterior Wall
3/4" = 1'-0"



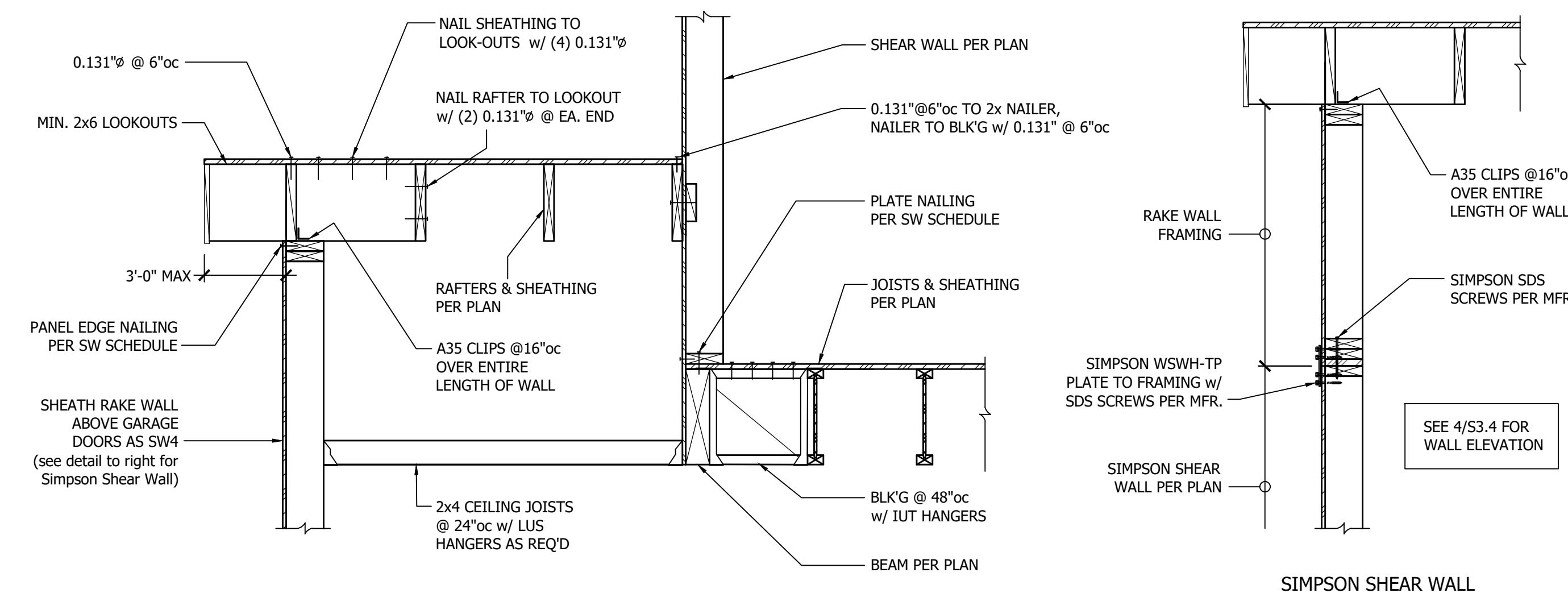
4 New Header Supporting Existing Rafters
3/4" = 1'-0"



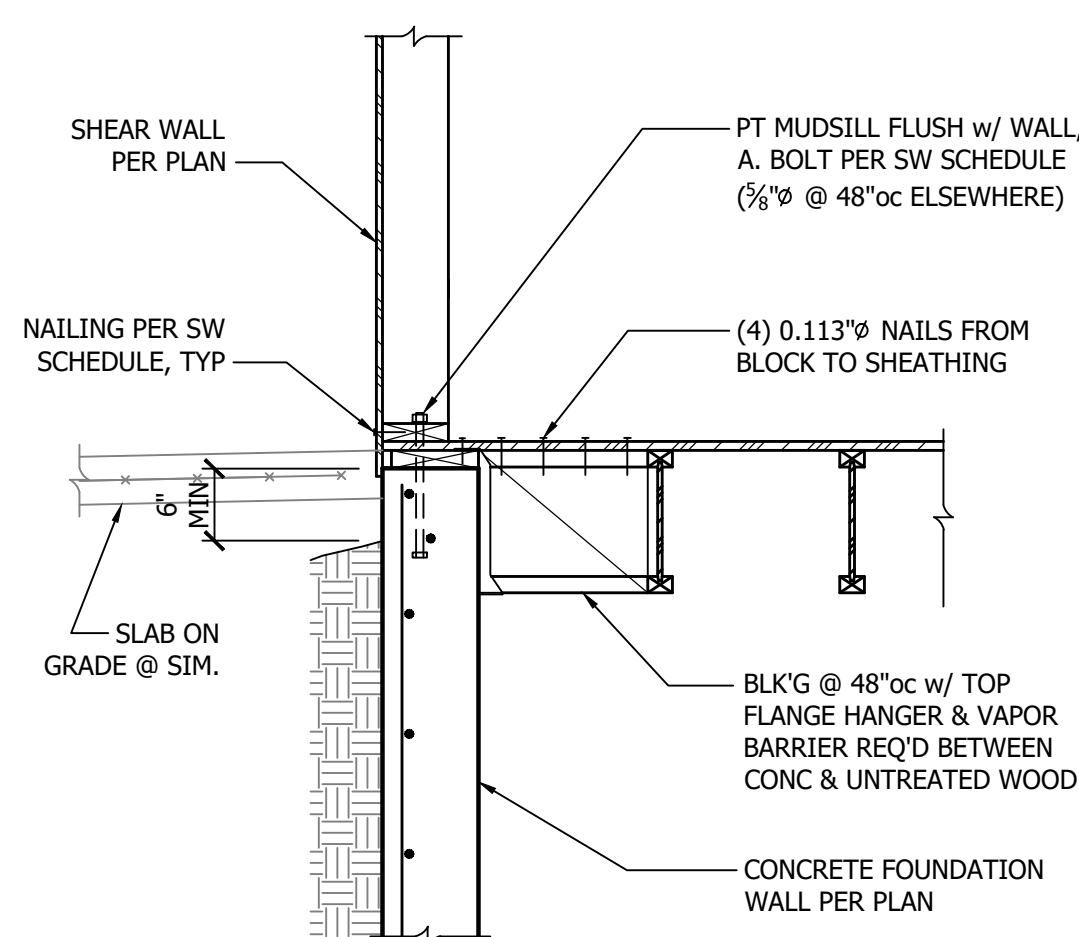
5 I-Joists Parallel to Exterior Wall
3/4" = 1'-0"



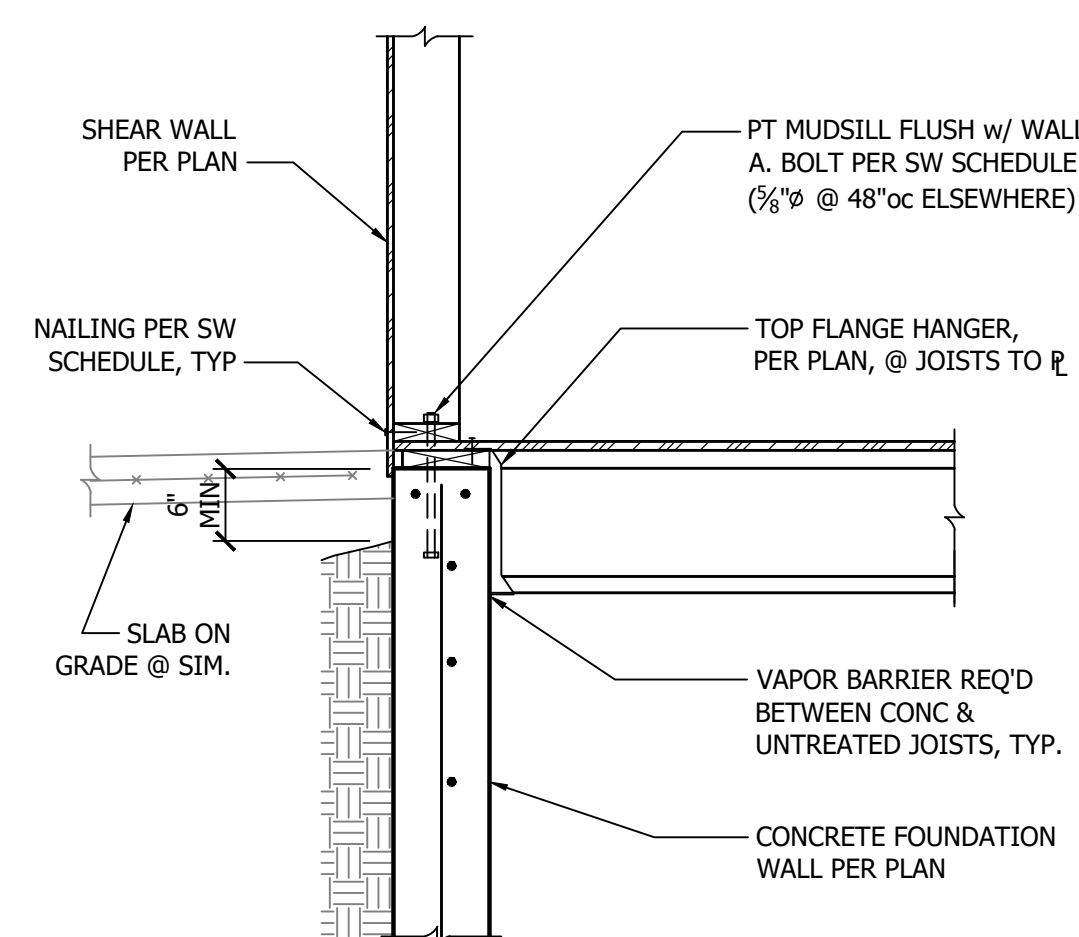
6 I-Joists Perpendicular to Exterior Wall
3/4" = 1'-0"



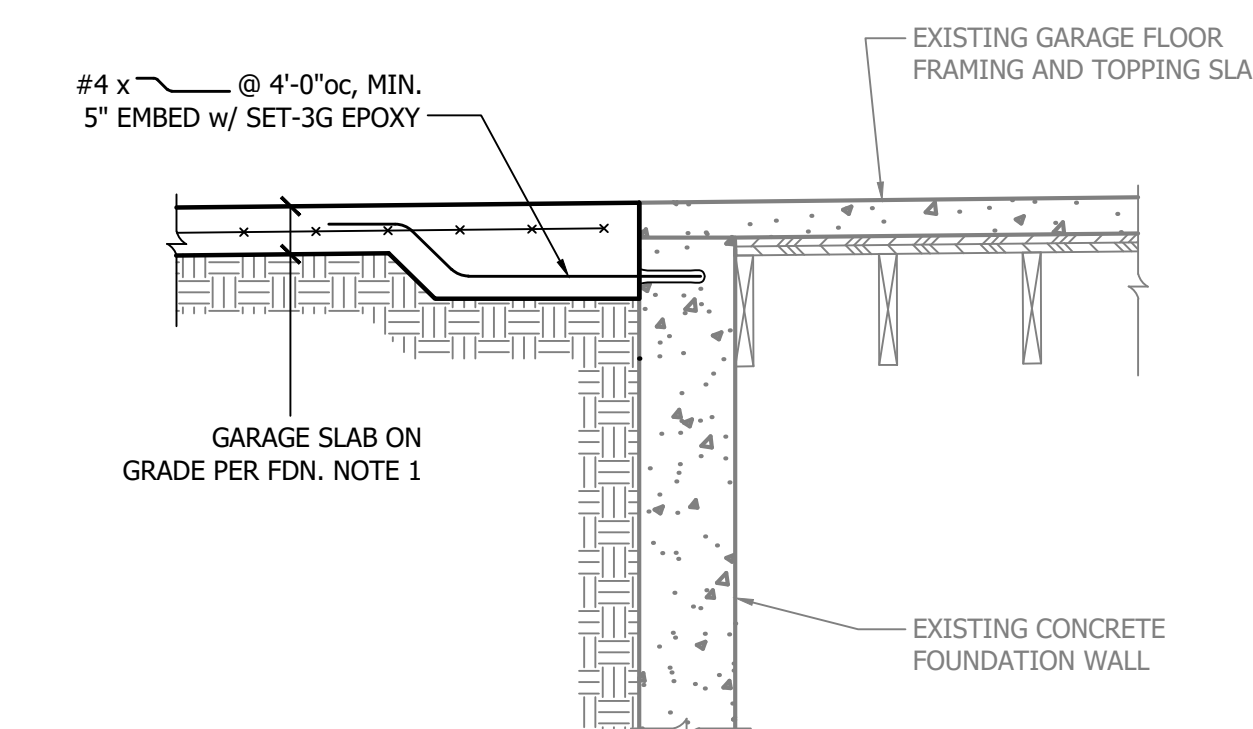
7 Low Roof Rafters Parallel to Floor Framing
3/4" = 1'-0"



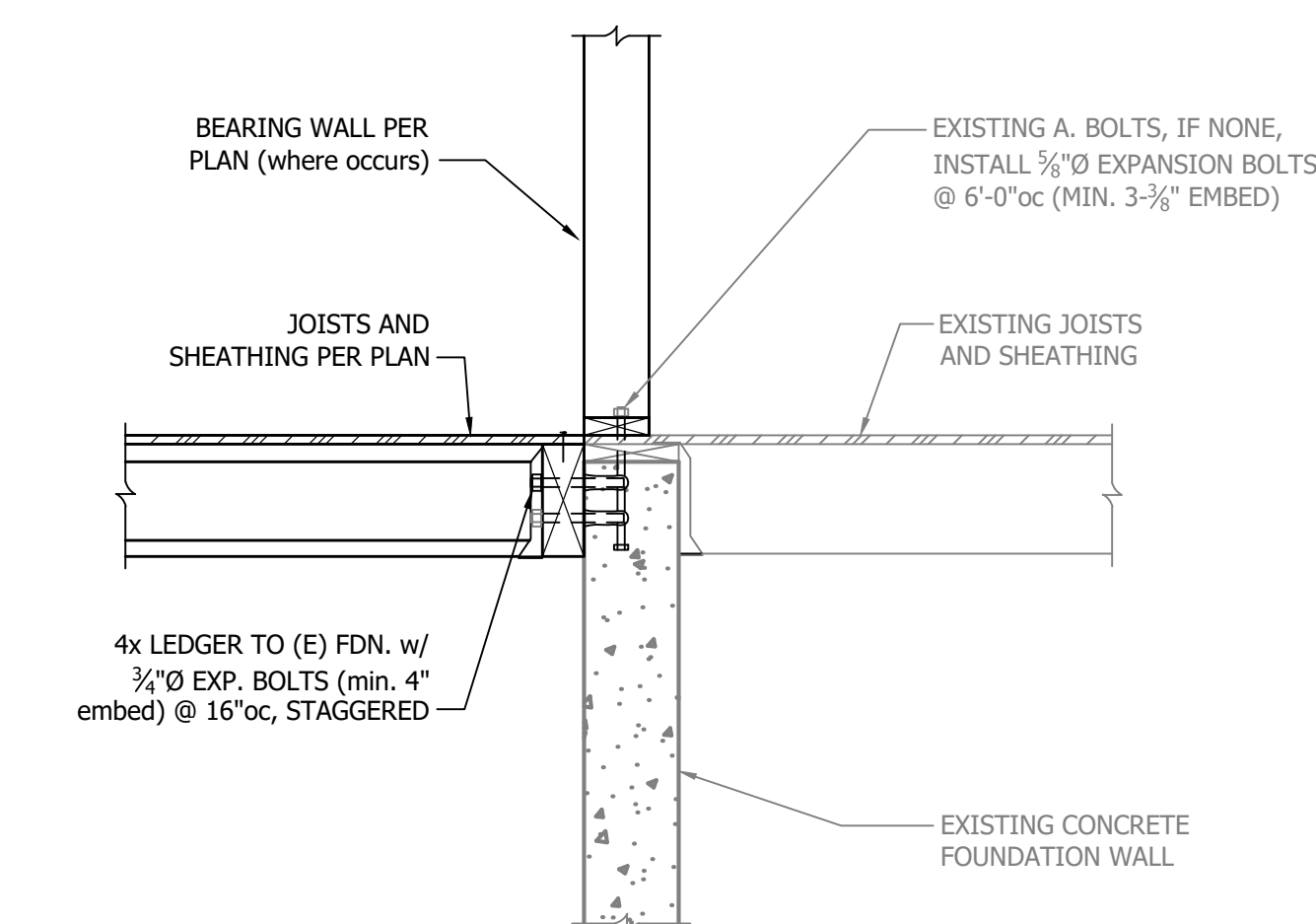
9 TJI Parallel to Flush Foundation Wall
3/4" = 1'-0"



10 TJI Perp. to Flush Foundation Wall
3/4" = 1'-0"



11 New Garage Slab Adjacent to Existing Garage
3/4" = 1'-0"

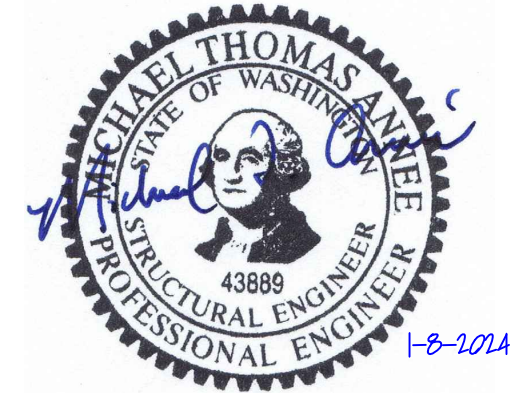


12 I-Joists Perp. to Existing Foundation Wall
3/4" = 1'-0"



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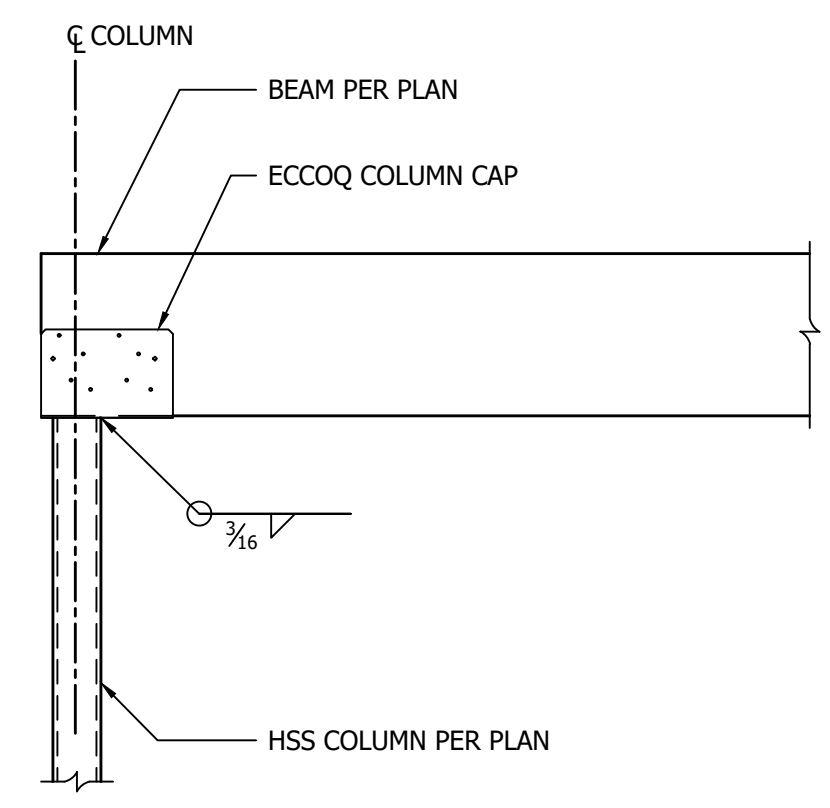
Rawson Remodel
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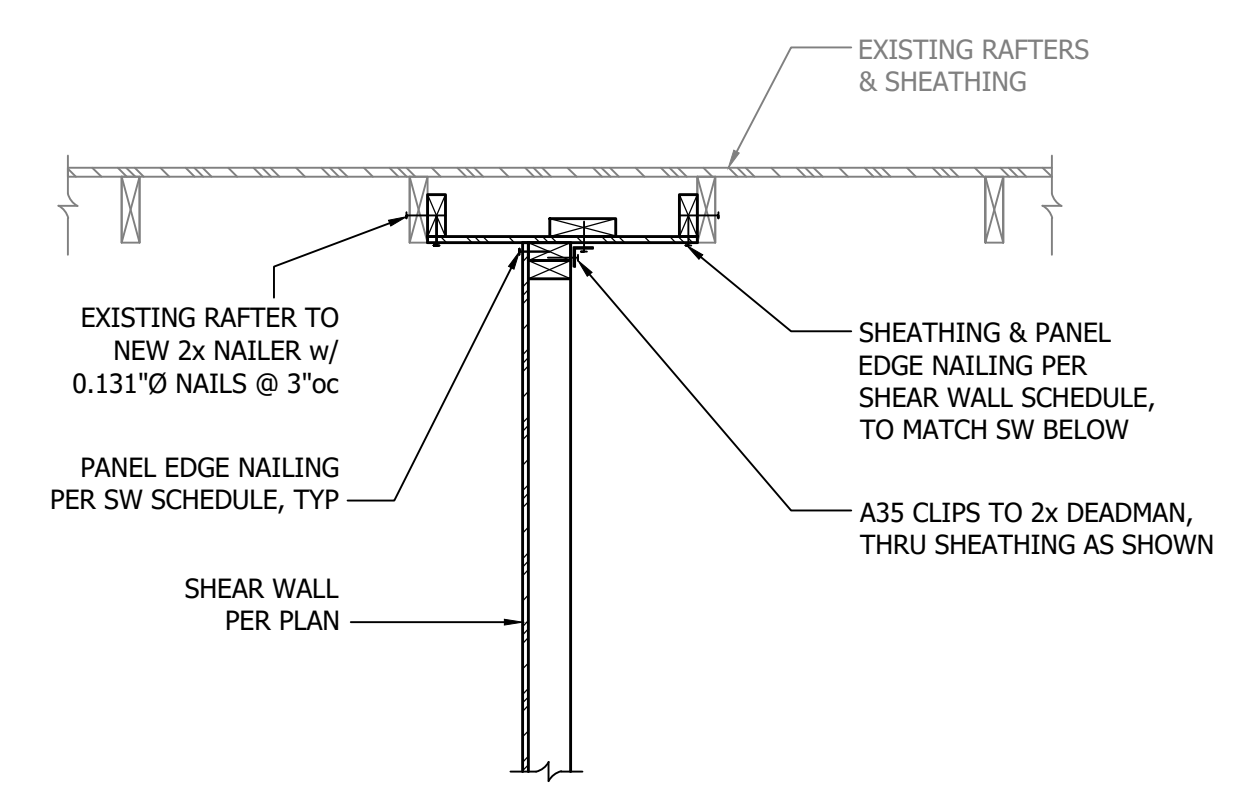
1/8/2024 Permit Set

Structural Details

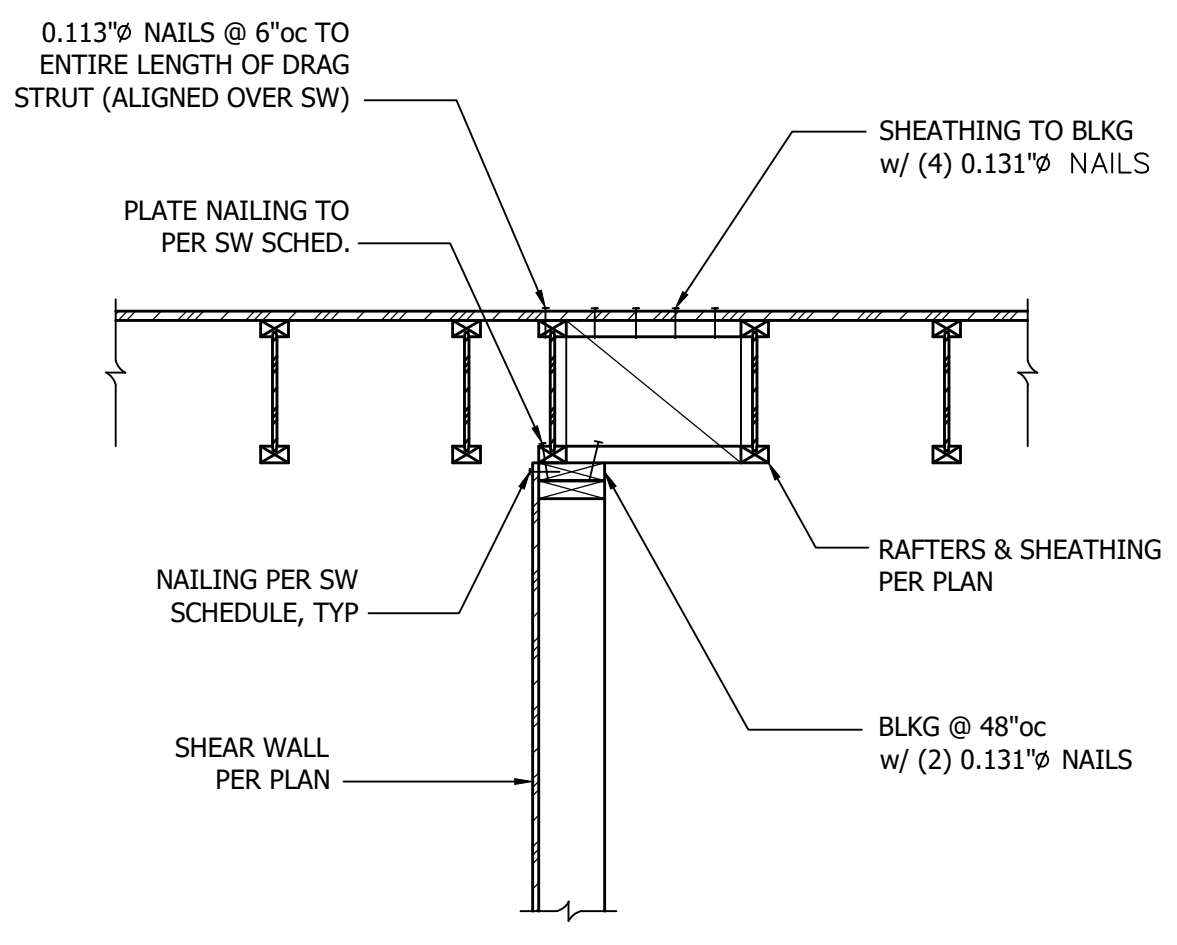
S3.2



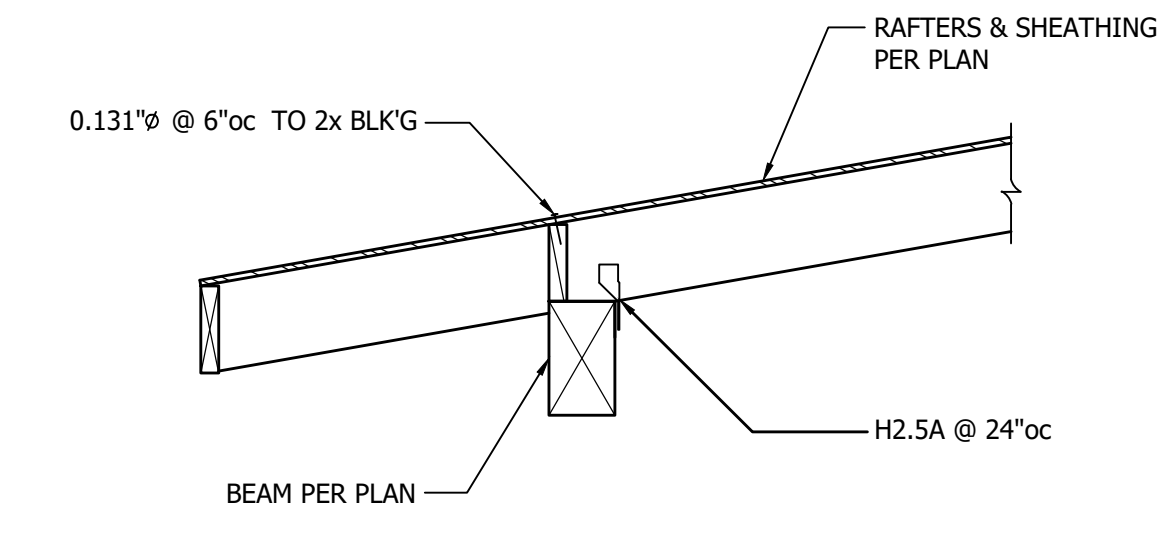
1 Wood Beam to HSS Column, Typ.
3/4" = 1'-0"



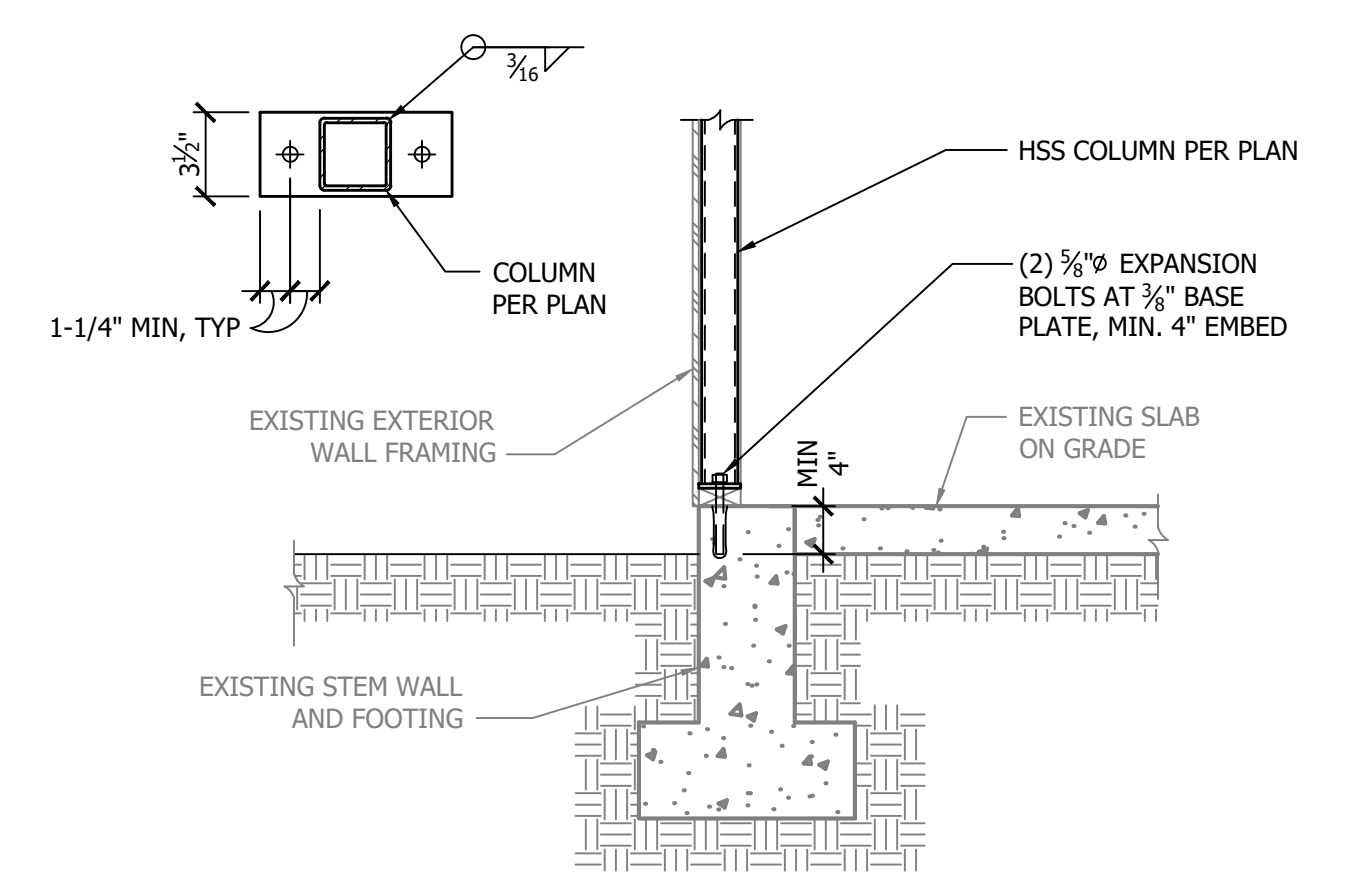
2 New, Interior Shear Wall II to Existing Rafters
3/4" = 1'-0"



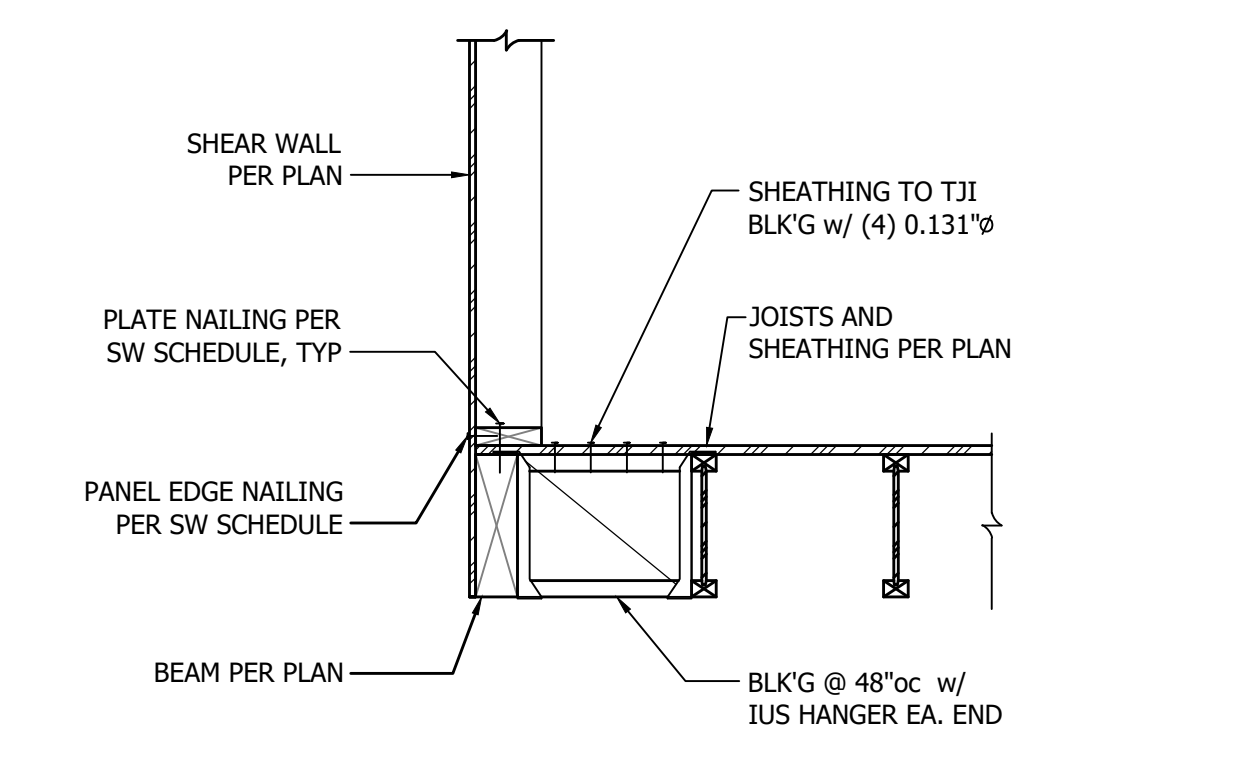
3 Interior Shear Wall II to I-Joists Above
3/4" = 1'-0"



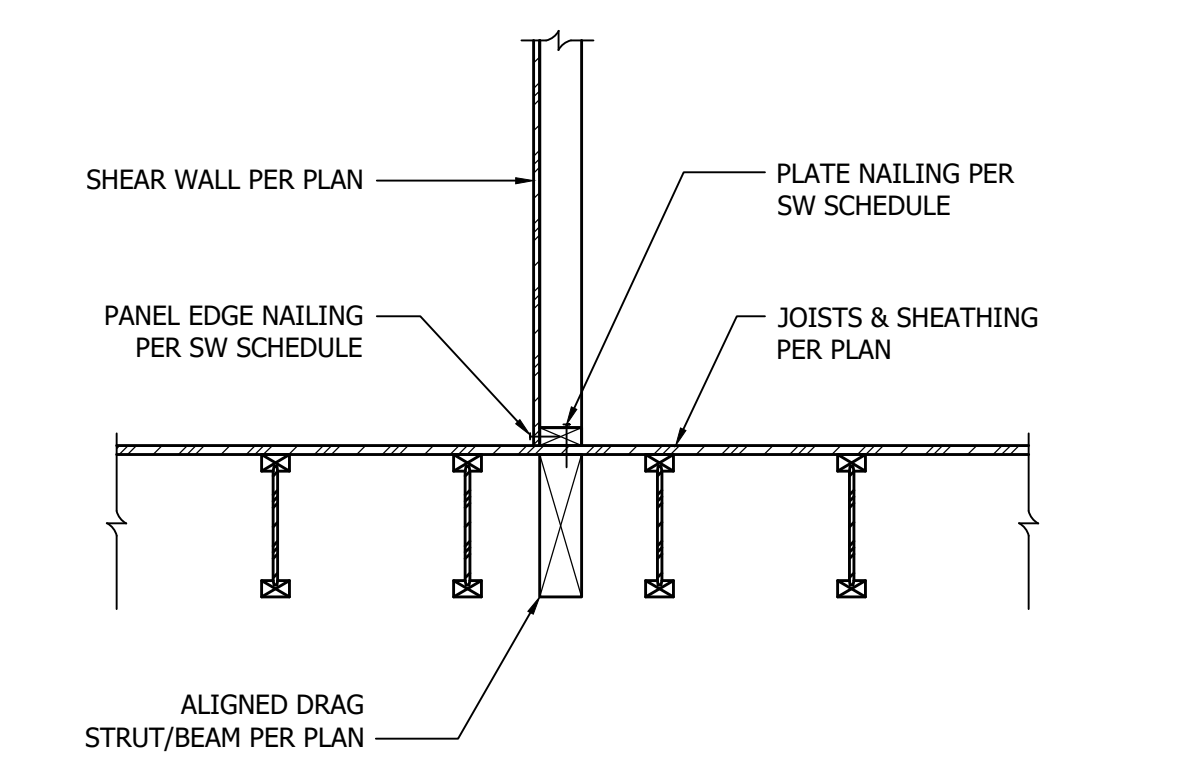
4 2x Rafters Perp. to Beam
3/4" = 1'-0"



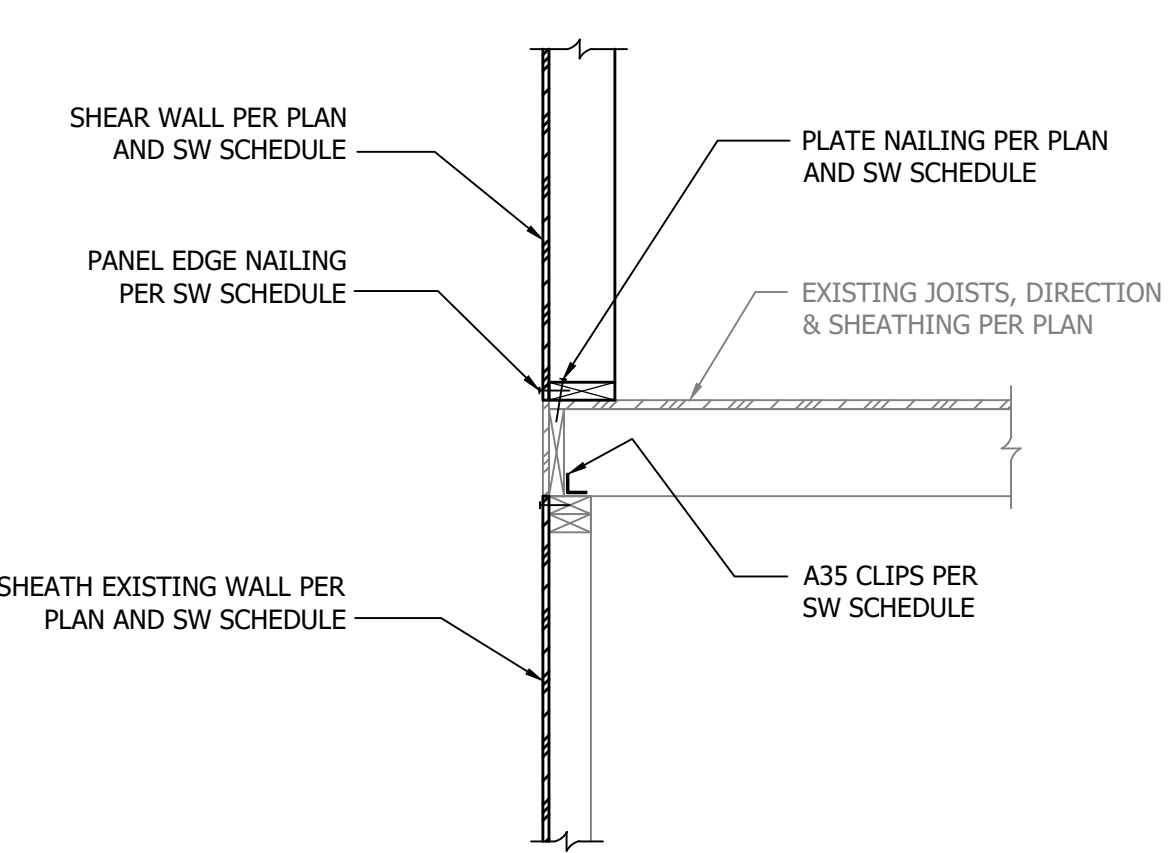
5 HSS Column to Existing Fdn. Wall
3/4" = 1'-0"



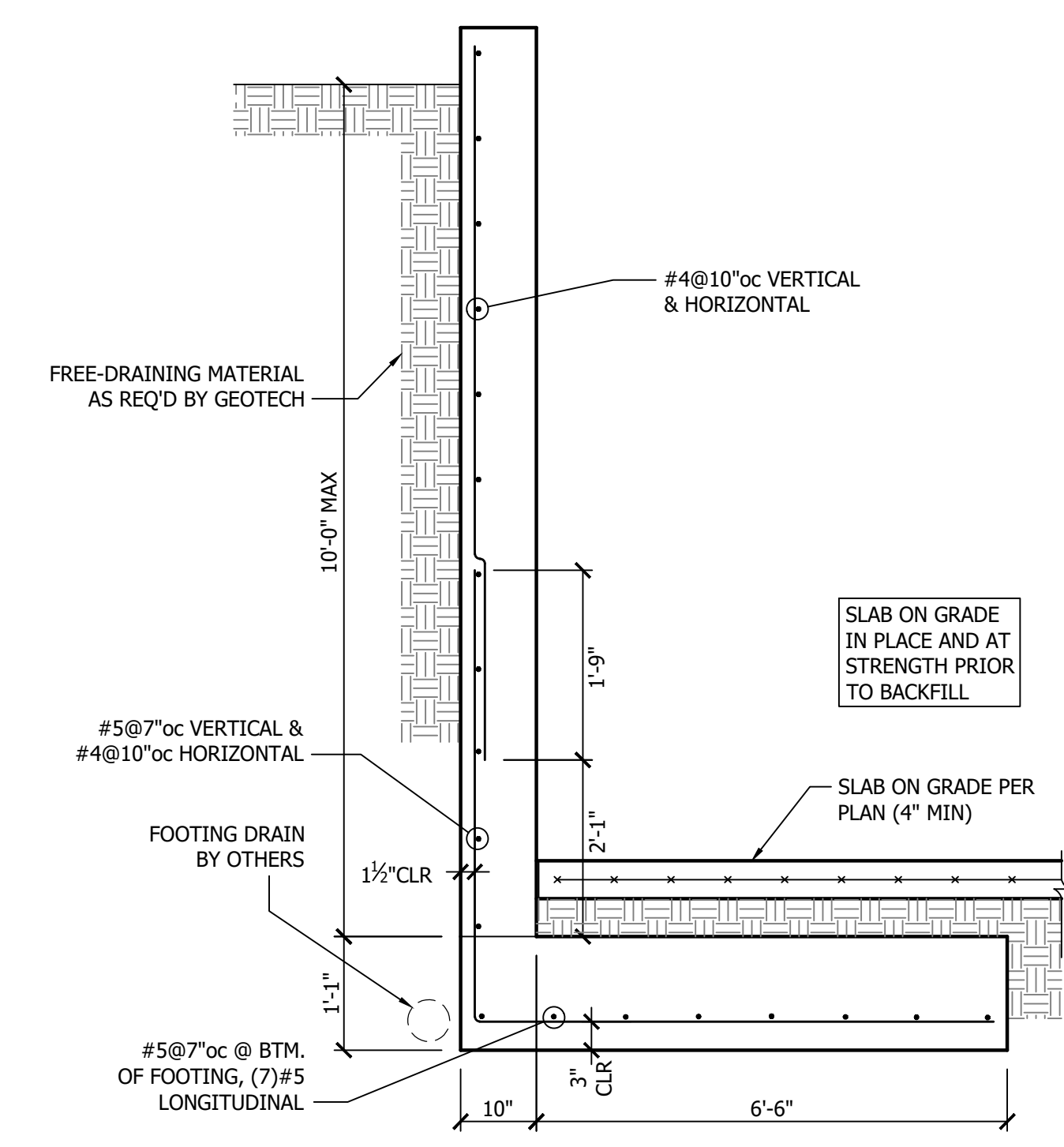
6 Flush Beam Supporting Exterior Wall Above
3/4" = 1'-0"



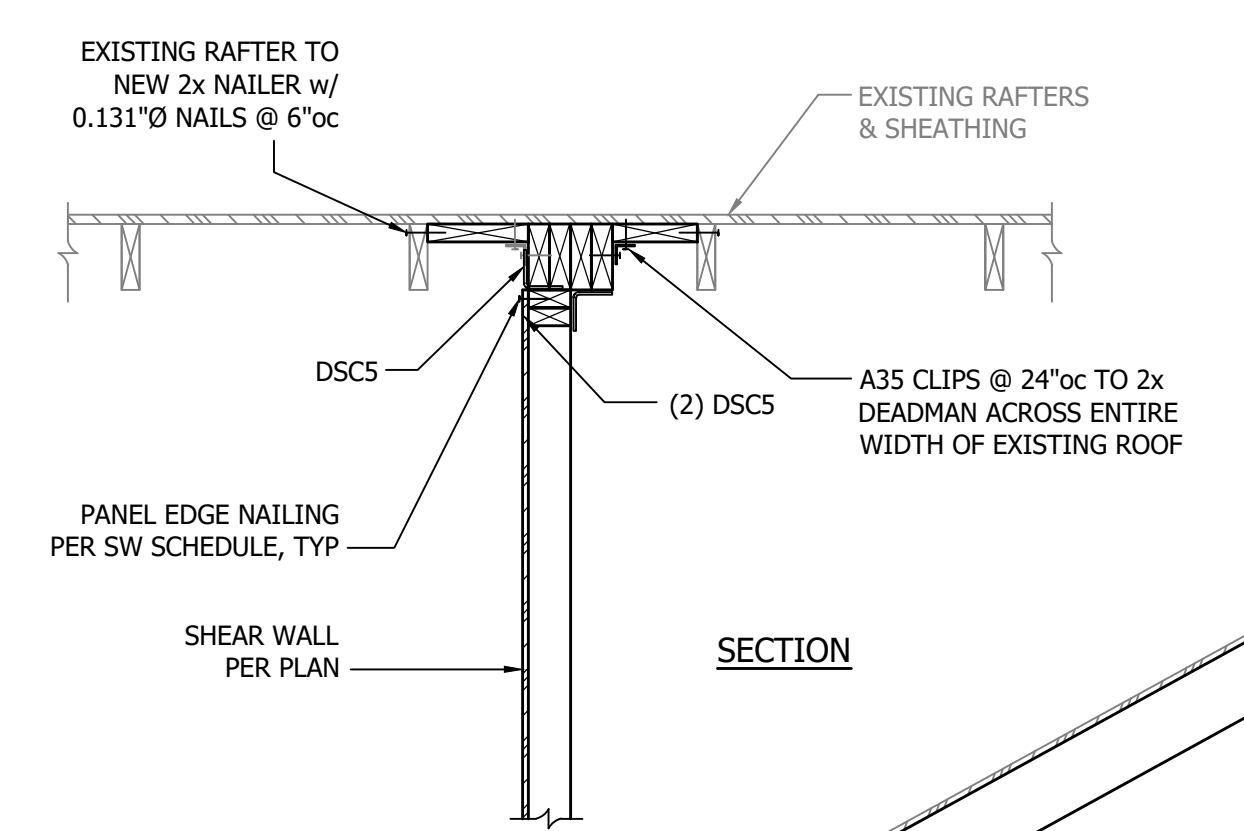
7 Interior Shear Wall II to I-Joists Below
3/4" = 1'-0"



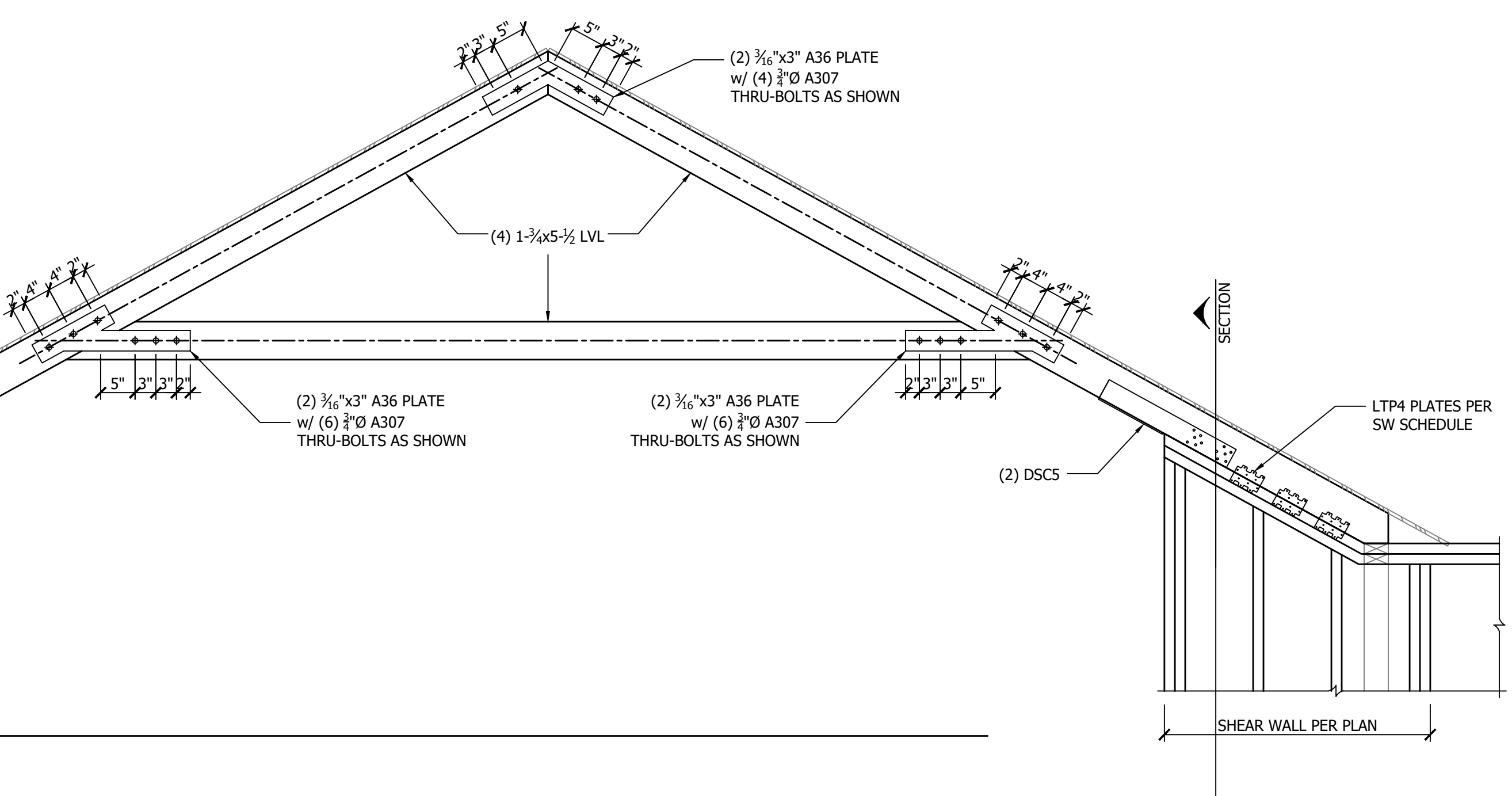
8 Existing 2x Joist Perp. to Exterior Wall
3/4" = 1'-0"



9 Retaining Wall at Basement
3/4" = 1'-0"



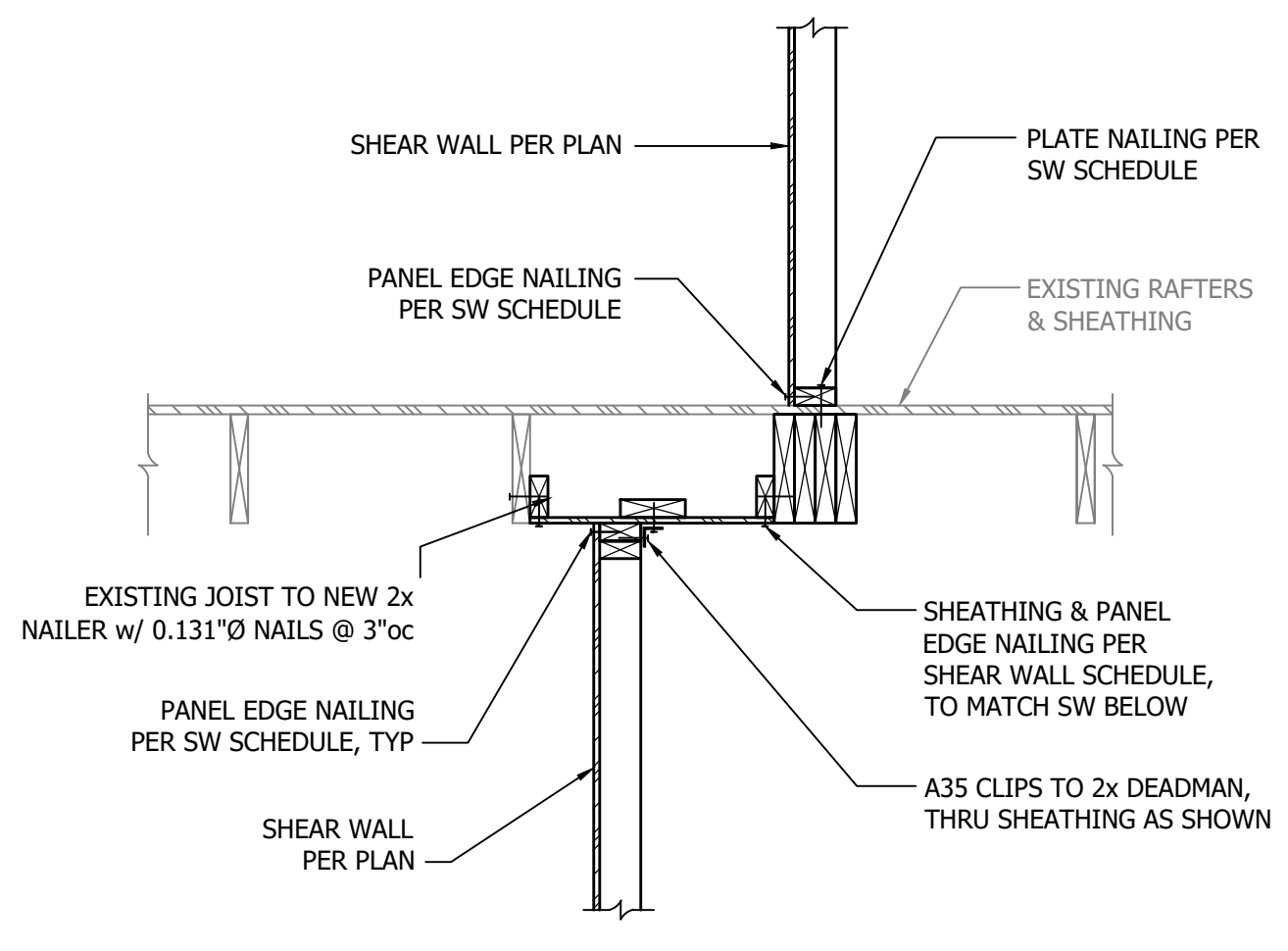
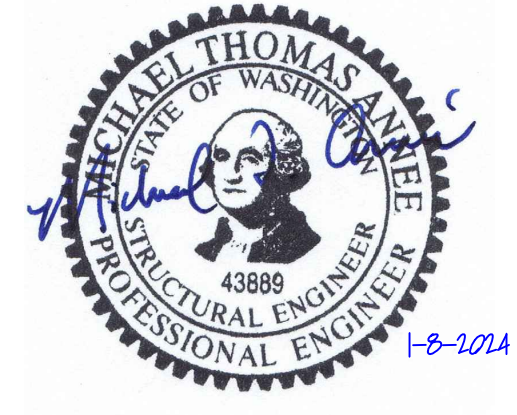
10 Stick-Framed DragTruss
3/4" = 1'-0"



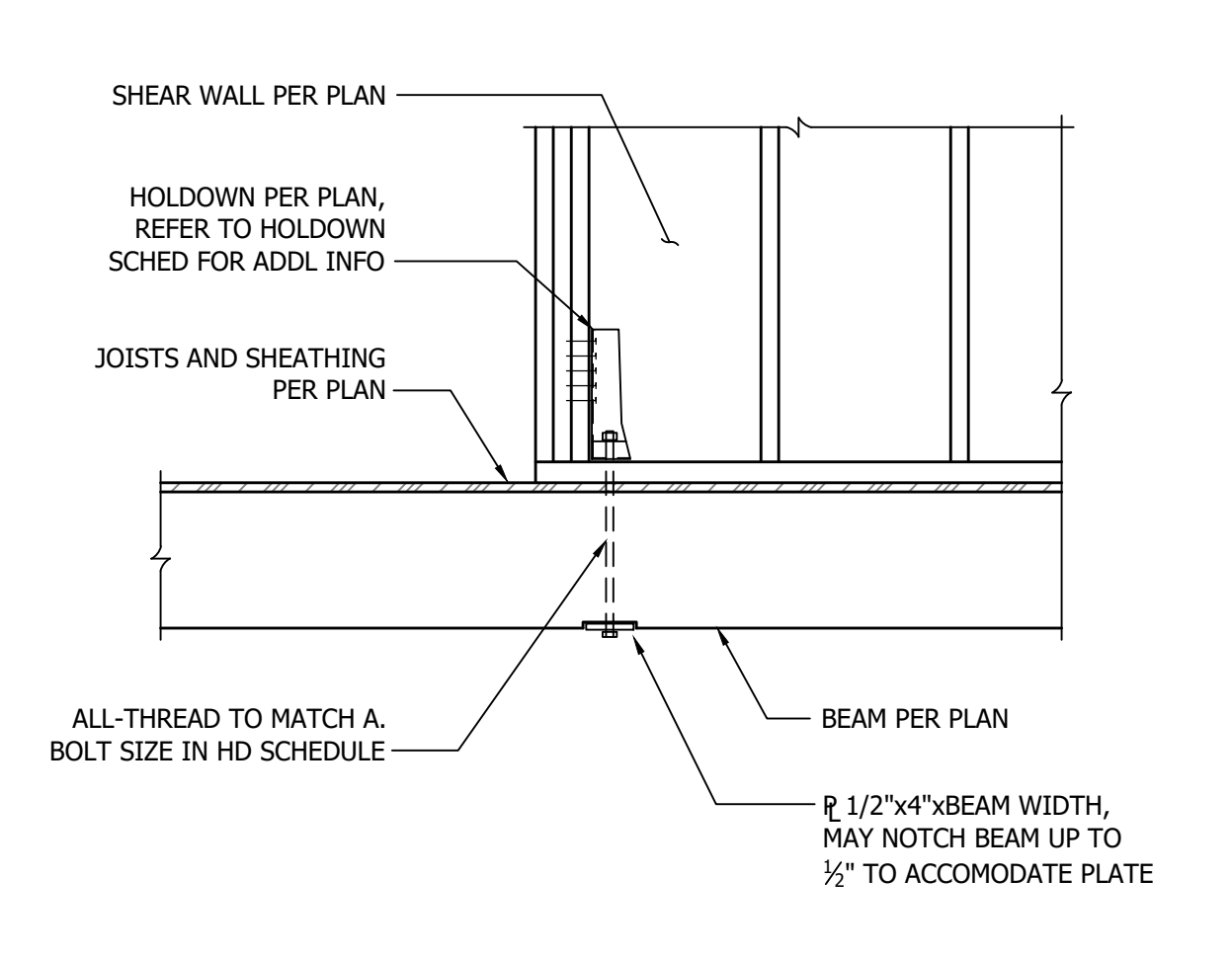
8 Existing 2x Joist Perp. to Exterior Wall
3/4" = 1'-0"



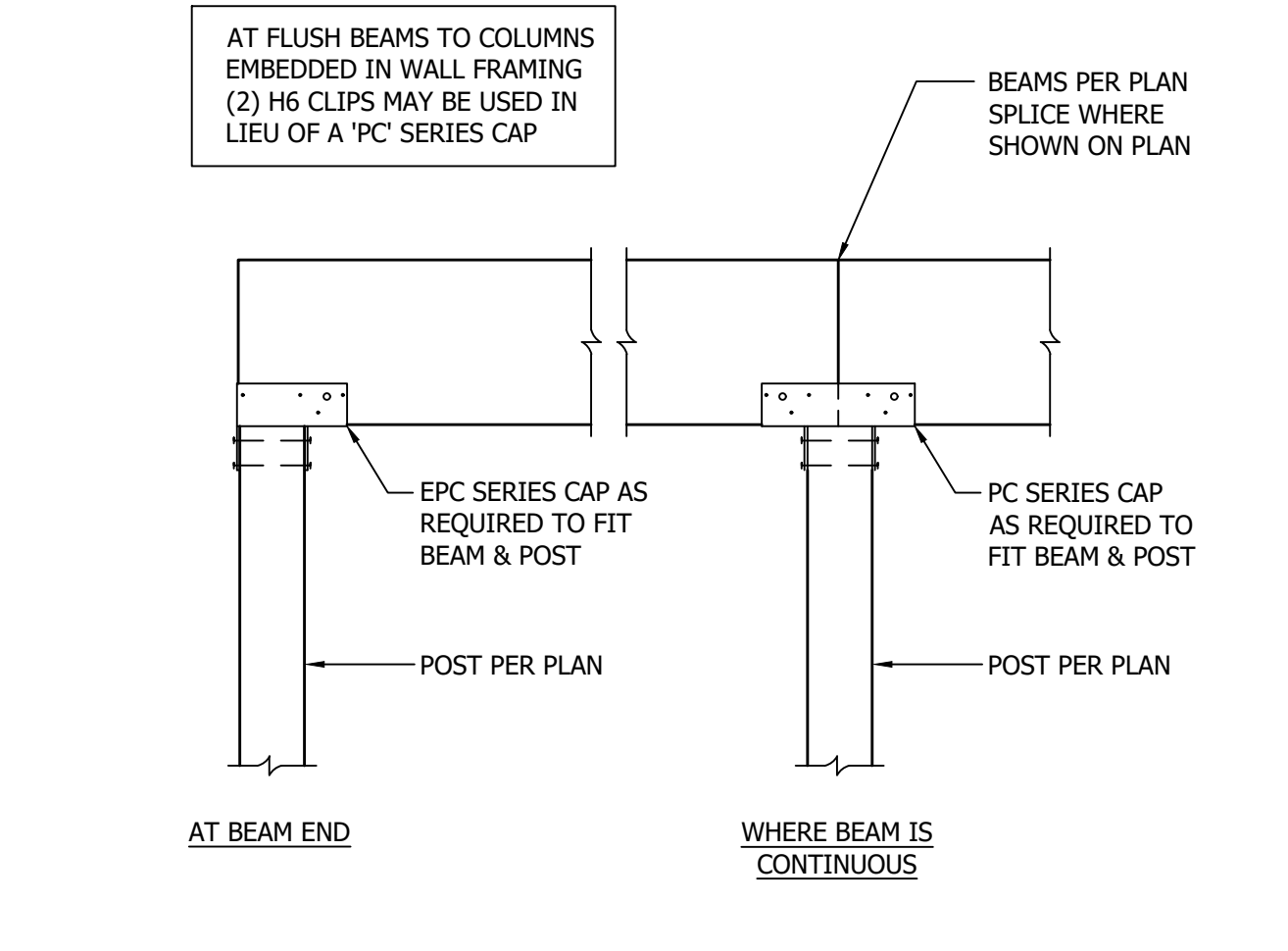
ANNÉE STRUCTURAL ENGINEERING, LLC
 1801 18th Avenue South
 Seattle, WA 98144
 phone: 206.658.5169
 mike@annestructural.com



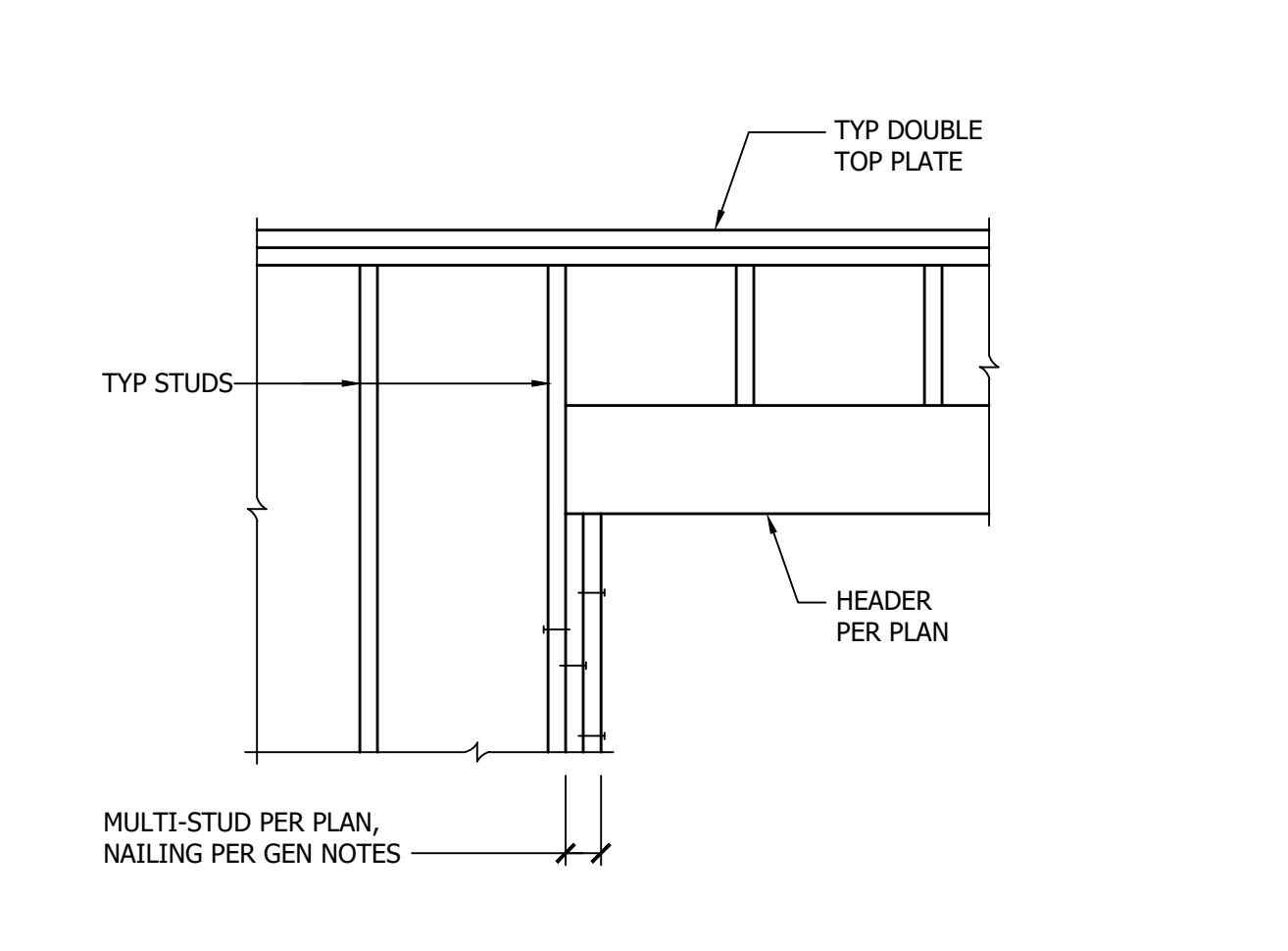
1 New, Interior Shear Wall II to Existing Rafters
 3/4" = 1'-0"



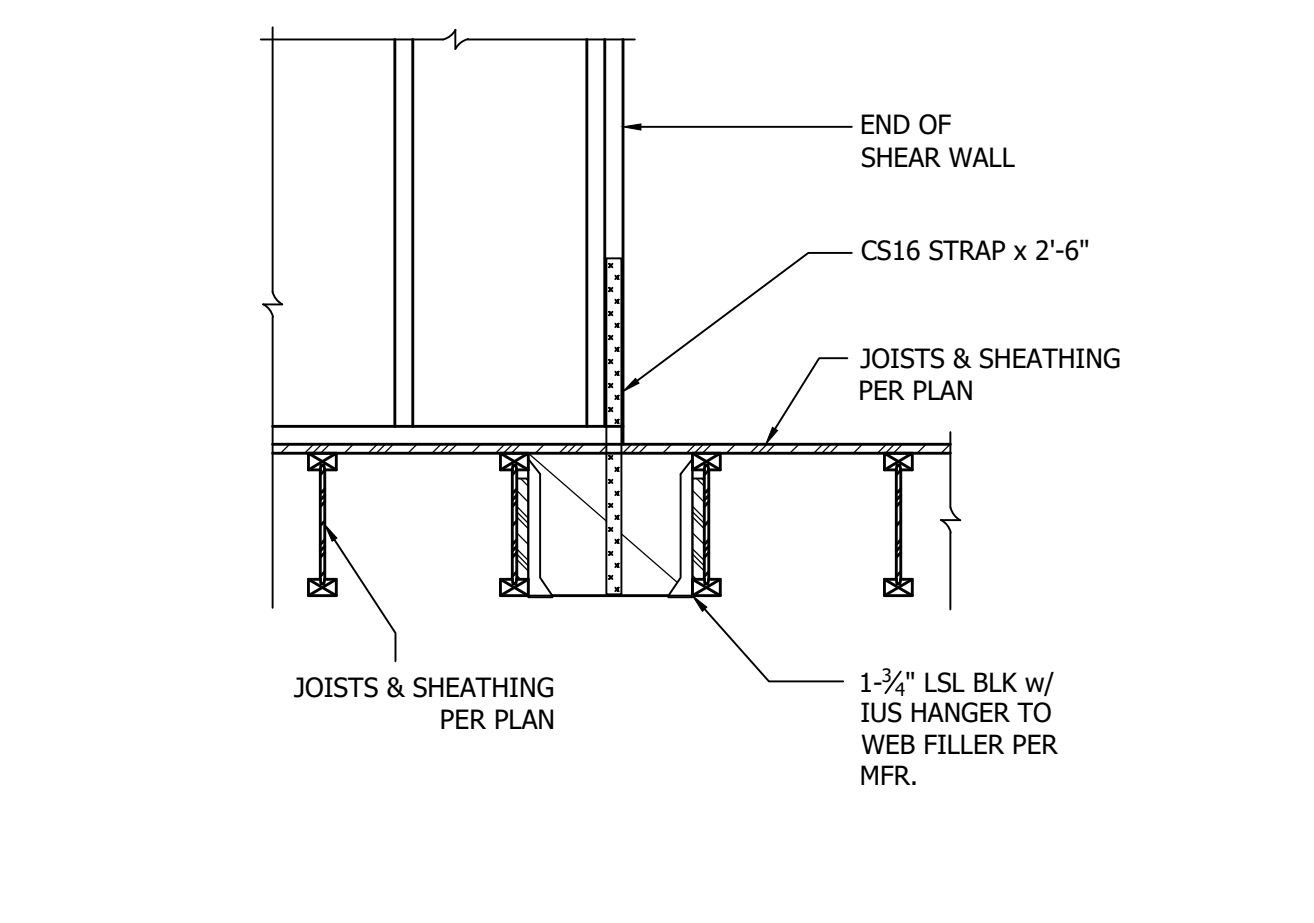
2 HD-to-Beam
 3/4" = 1'-0"



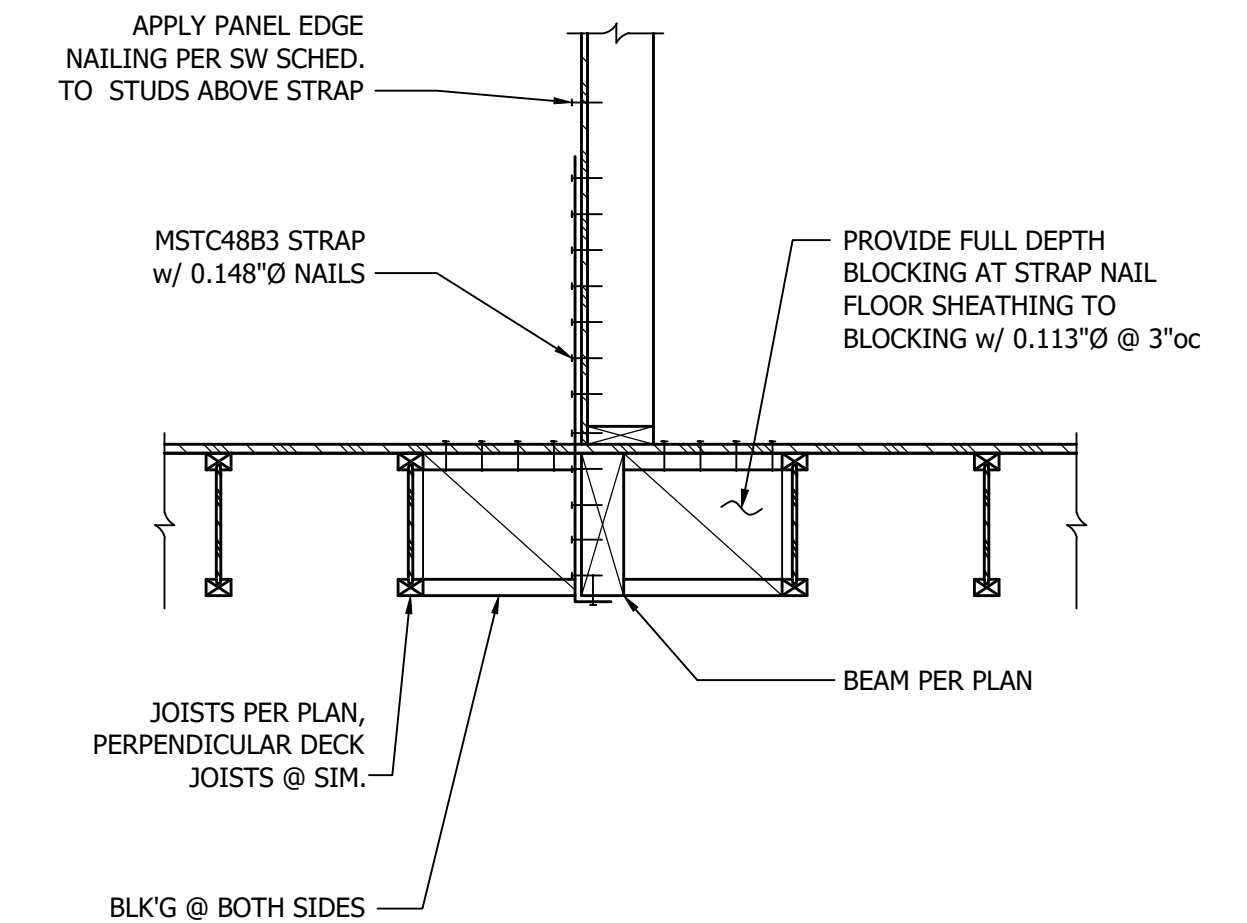
3 Wood Beam to Wood Column, Typ.
 3/4" = 1'-0"



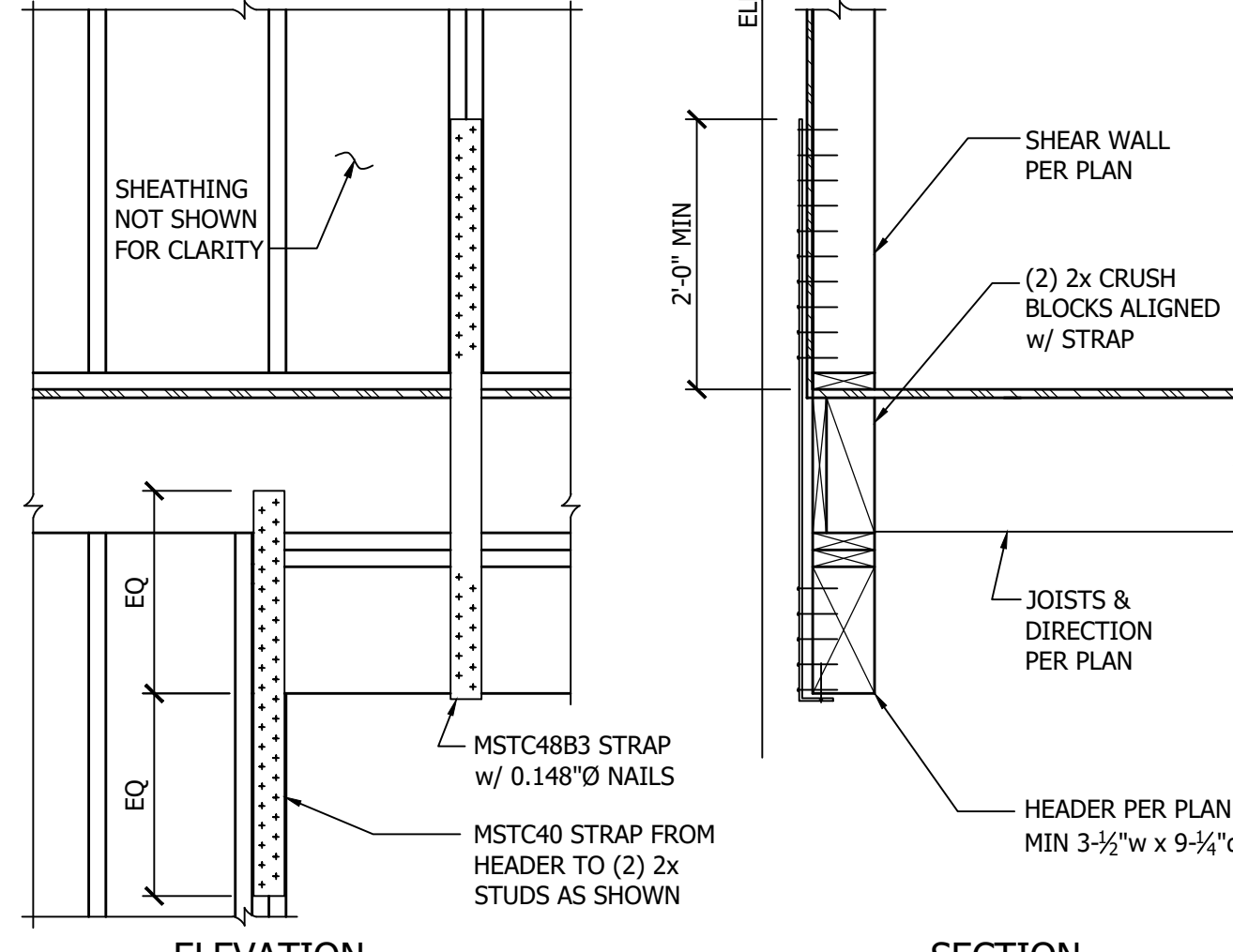
4 Header Support, Typ.
 3/4" = 1'-0"



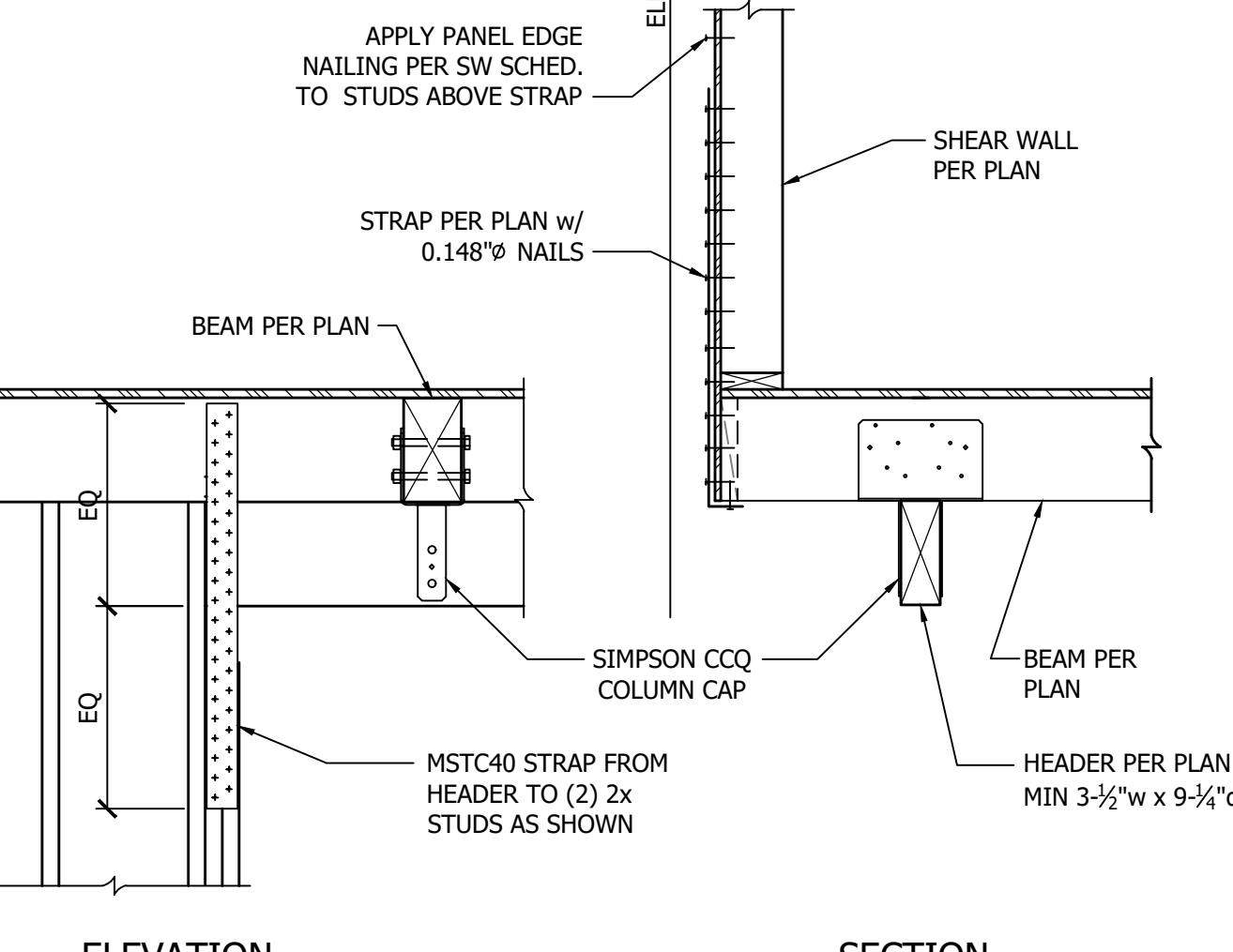
5 Strap to Blocking Between Joists
 3/4" = 1'-0"



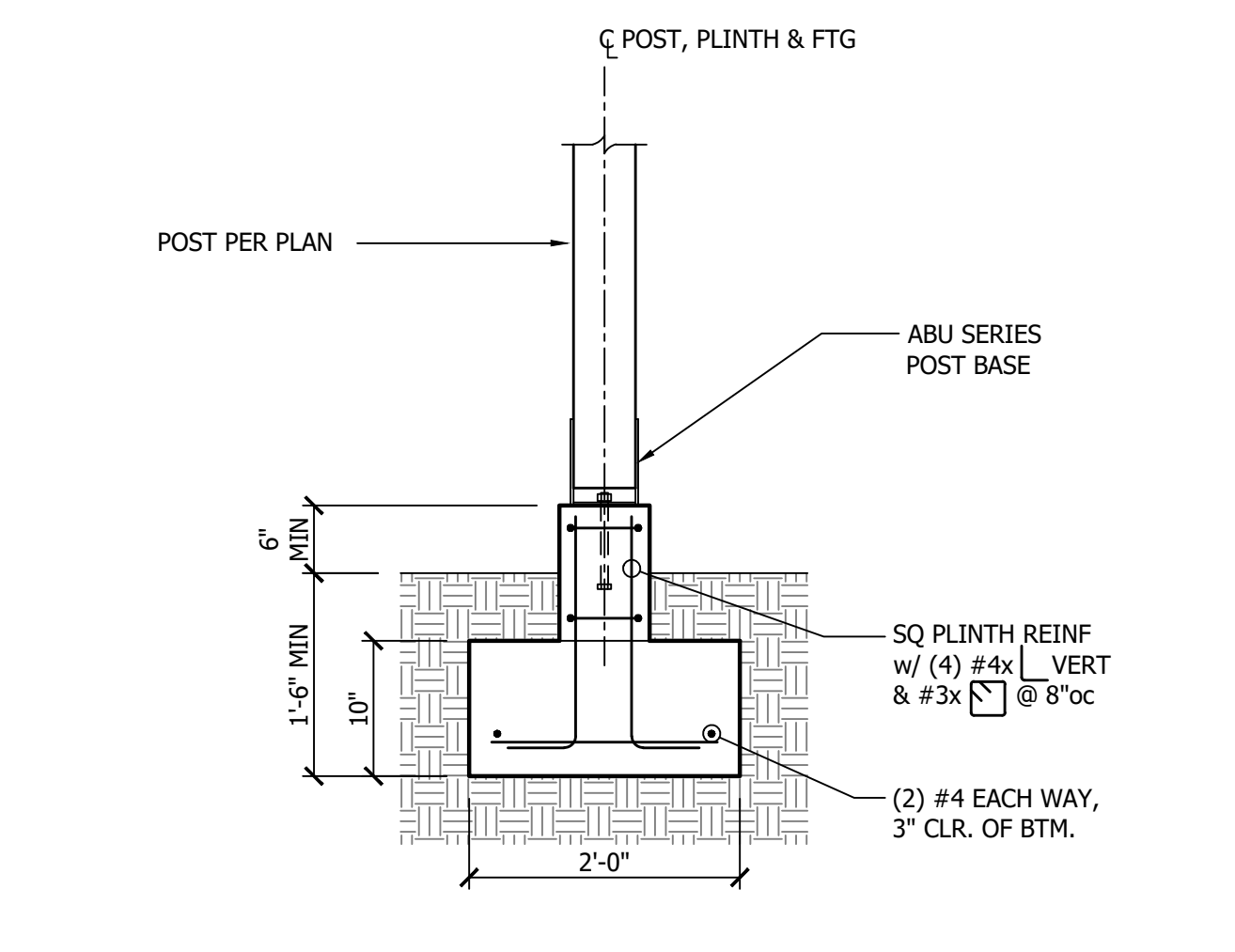
6 Strap to Beam Below
 3/4" = 1'-0"



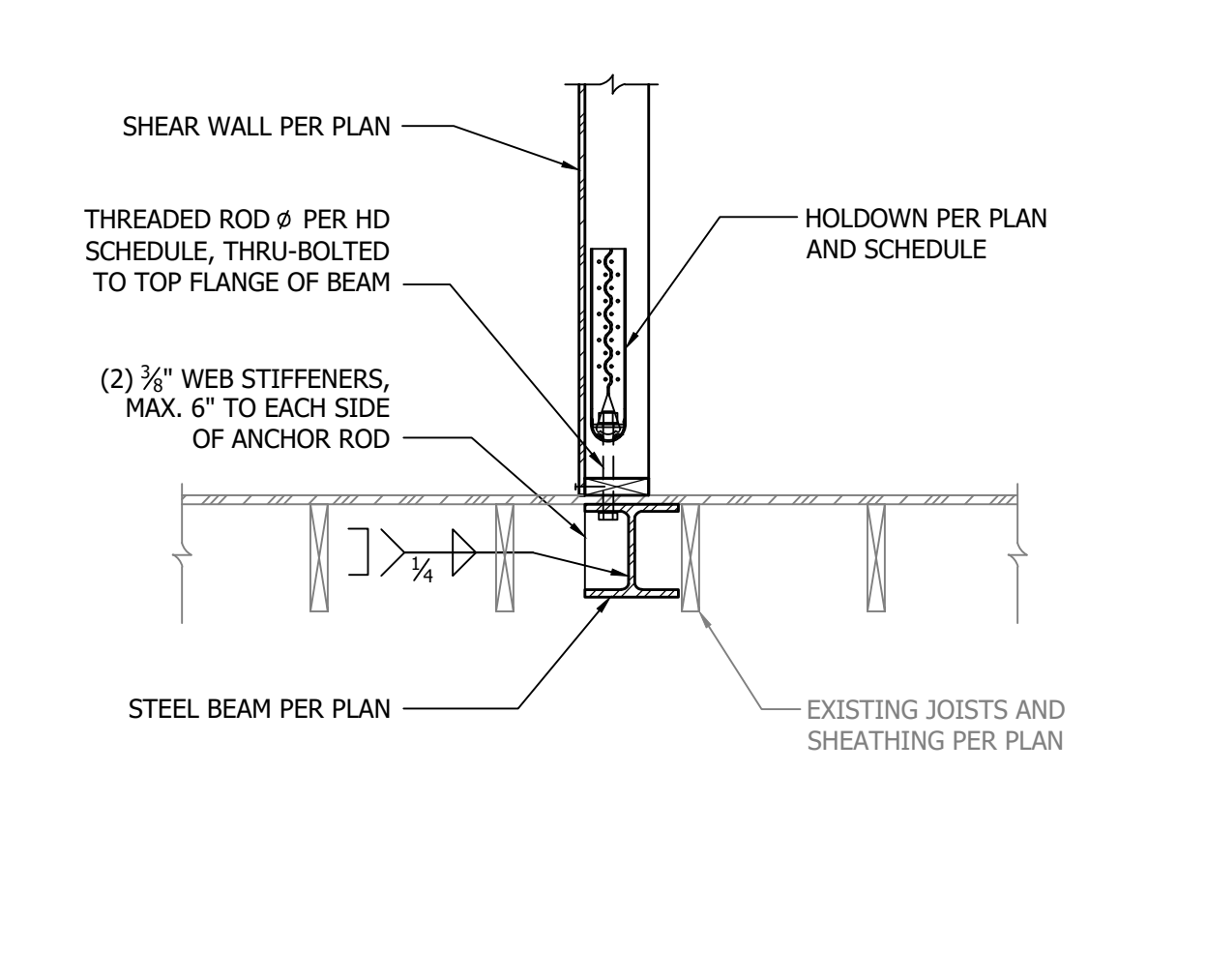
7 Strap to Header, Typ.
 3/4" = 1'-0"



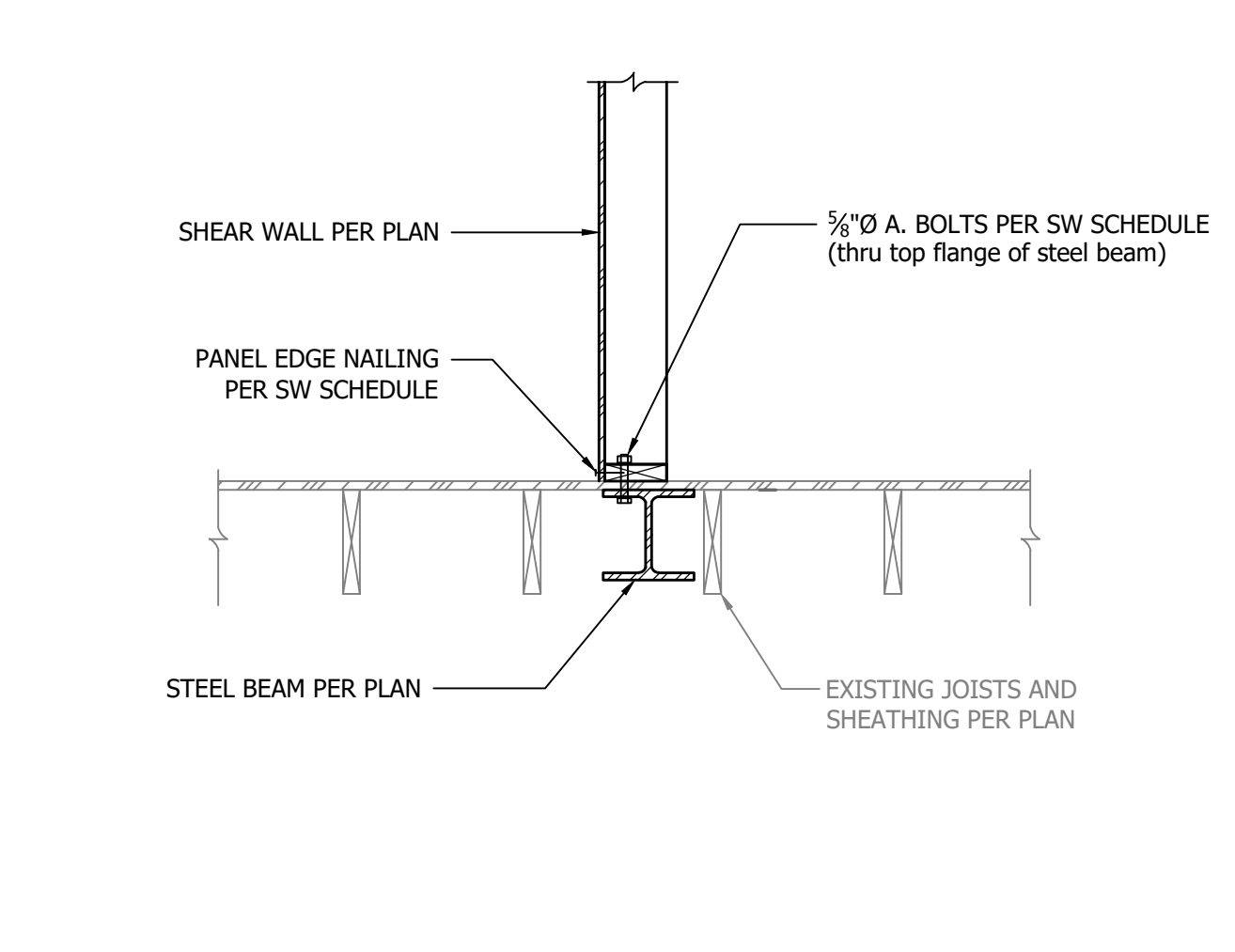
8 Column Cap at Cantilevered Beam to Header
 3/4" = 1'-0"



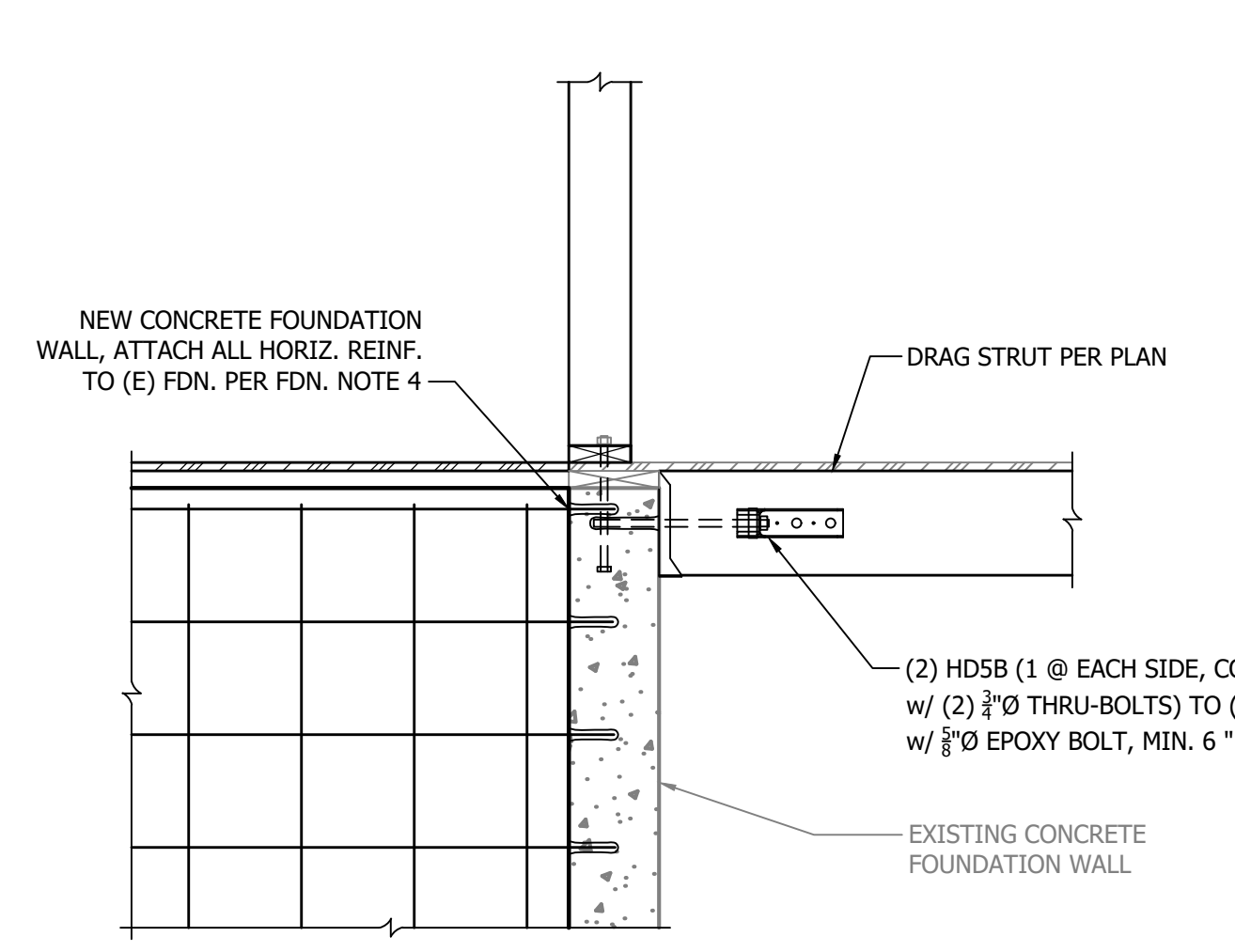
9 Isolated Post Footing
 3/4" = 1'-0"



10 Holdown to Steel Beam
 3/4" = 1'-0"



11 New Steel Beam Under Shear Wall Above
 3/4" = 1'-0"



12 Drag Strut to Existing Foundation Wall
 3/4" = 1'-0"

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Revision Issue Date Drawing Set

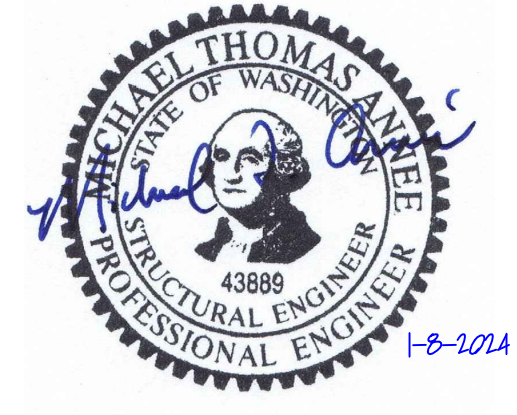
1/8/2024 Permit Set

Structural Details

S3.3



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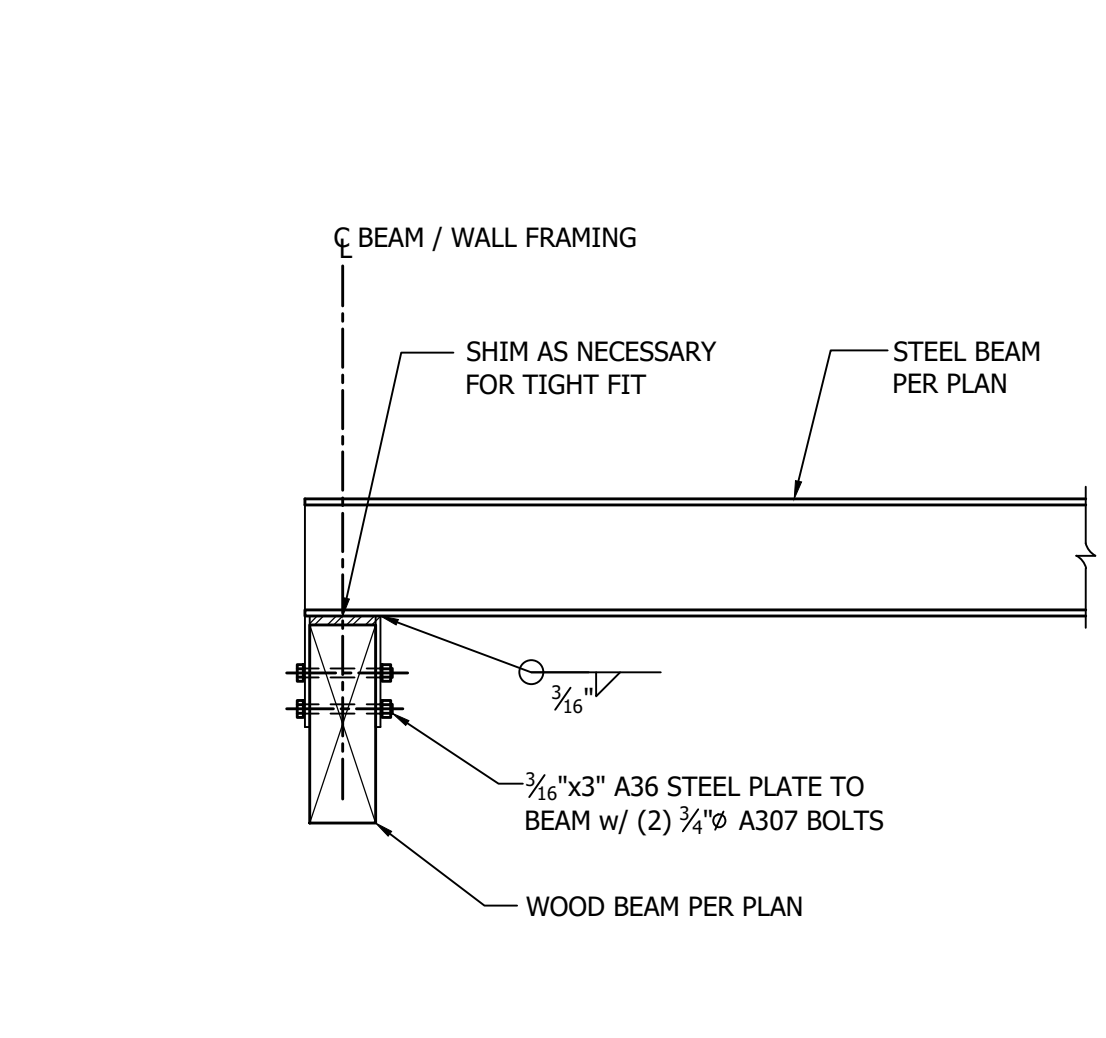
Rawson Remodel
 8413 SE 82nd St, Mercer Island, WA 98040

Revision Issue Date Drawing Set

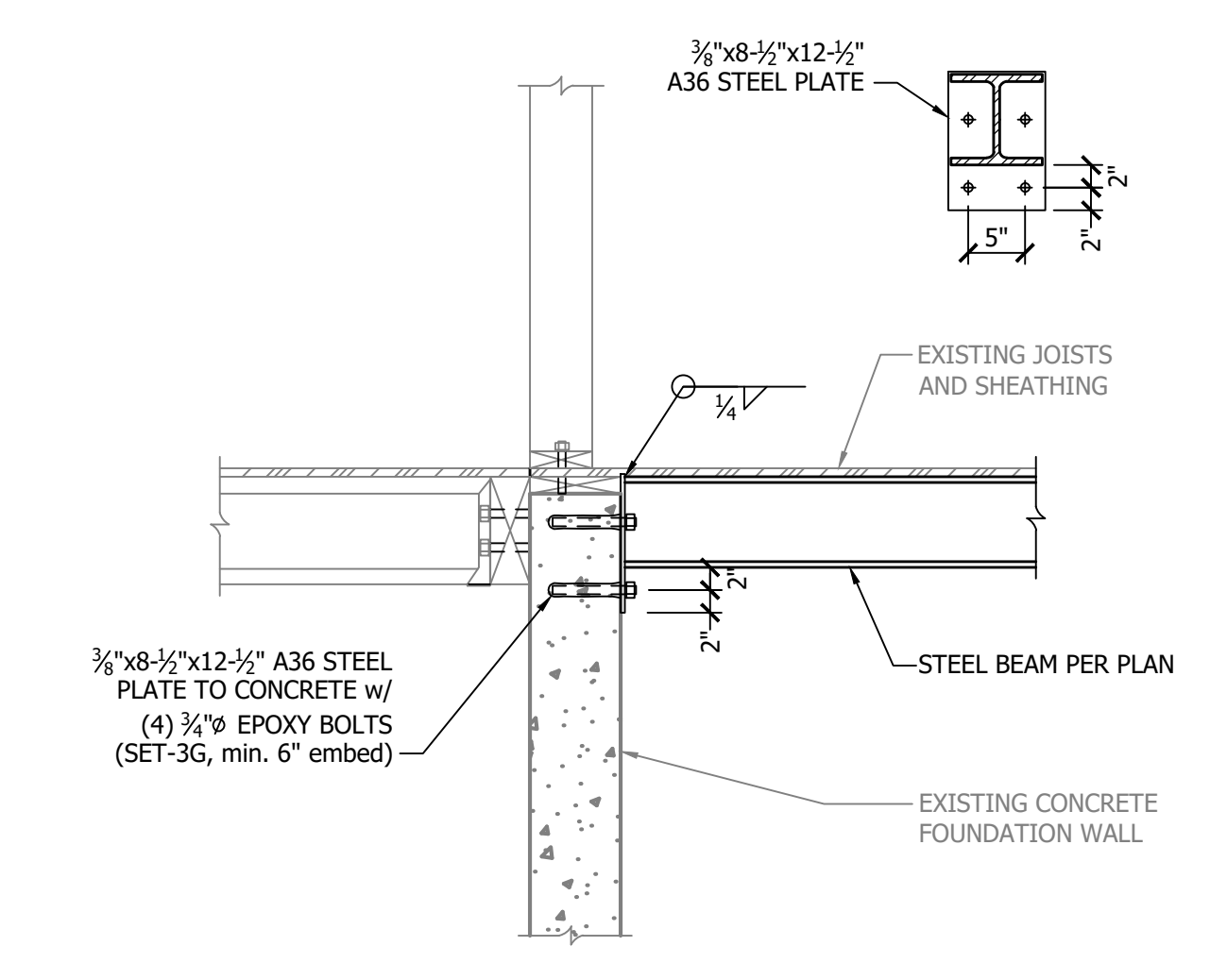
1/8/2024 Permit Set

Structural Details

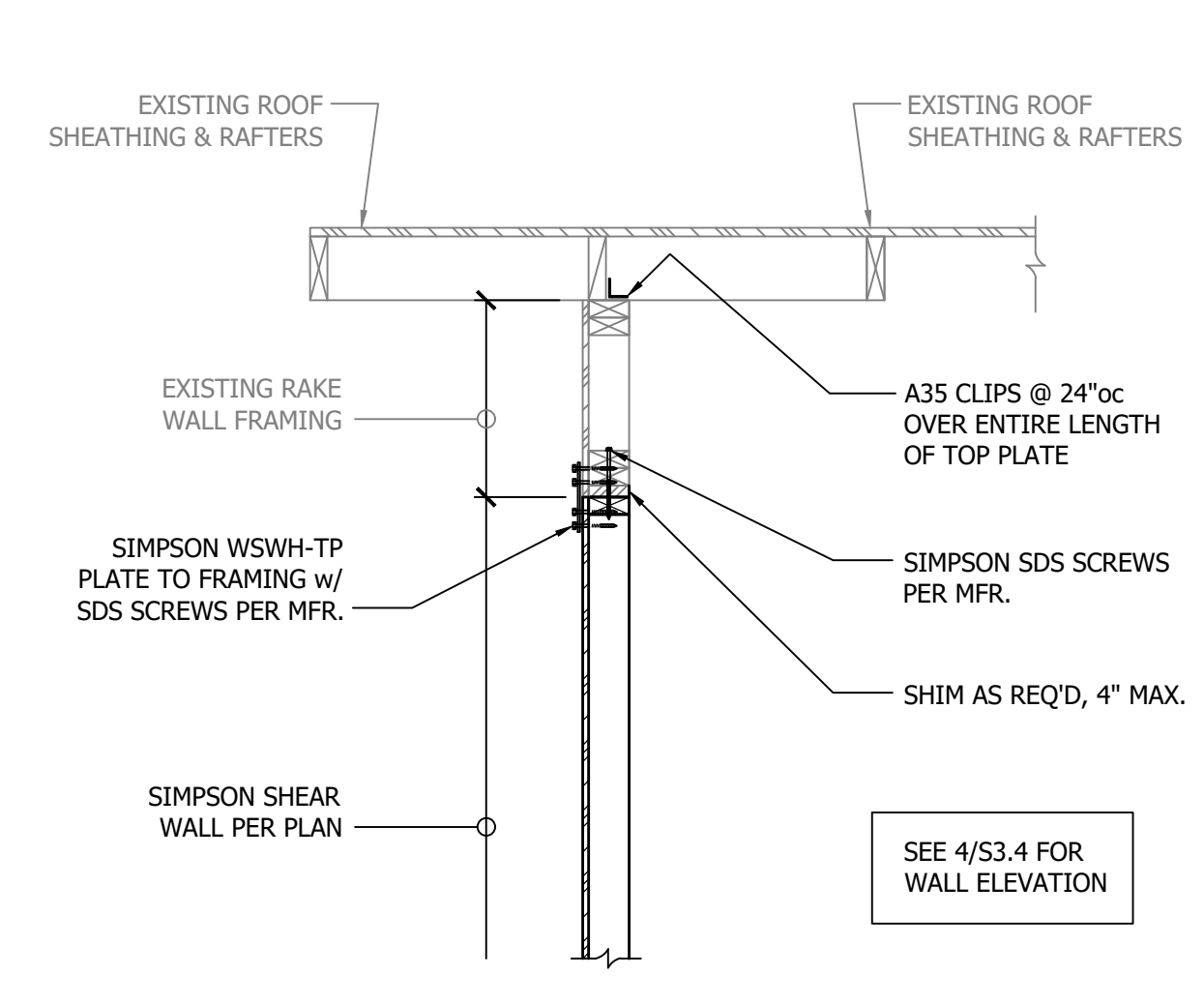
S3.4



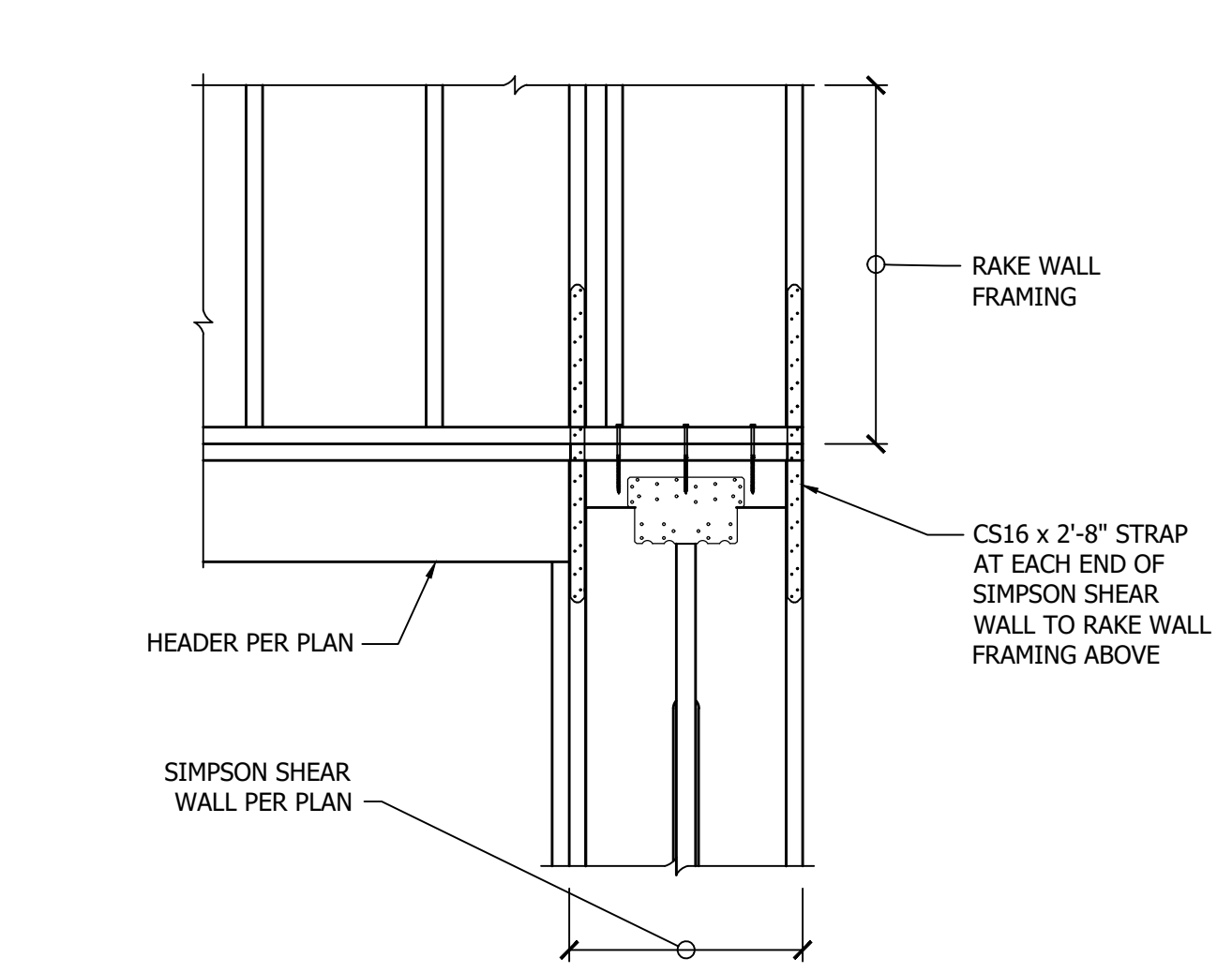
1 Steel Beam to Wood Column, Typ.
 3/4" = 1'-0"



2 I-joists Perp. to Existing Foundation Wall
 3/4" = 1'-0"



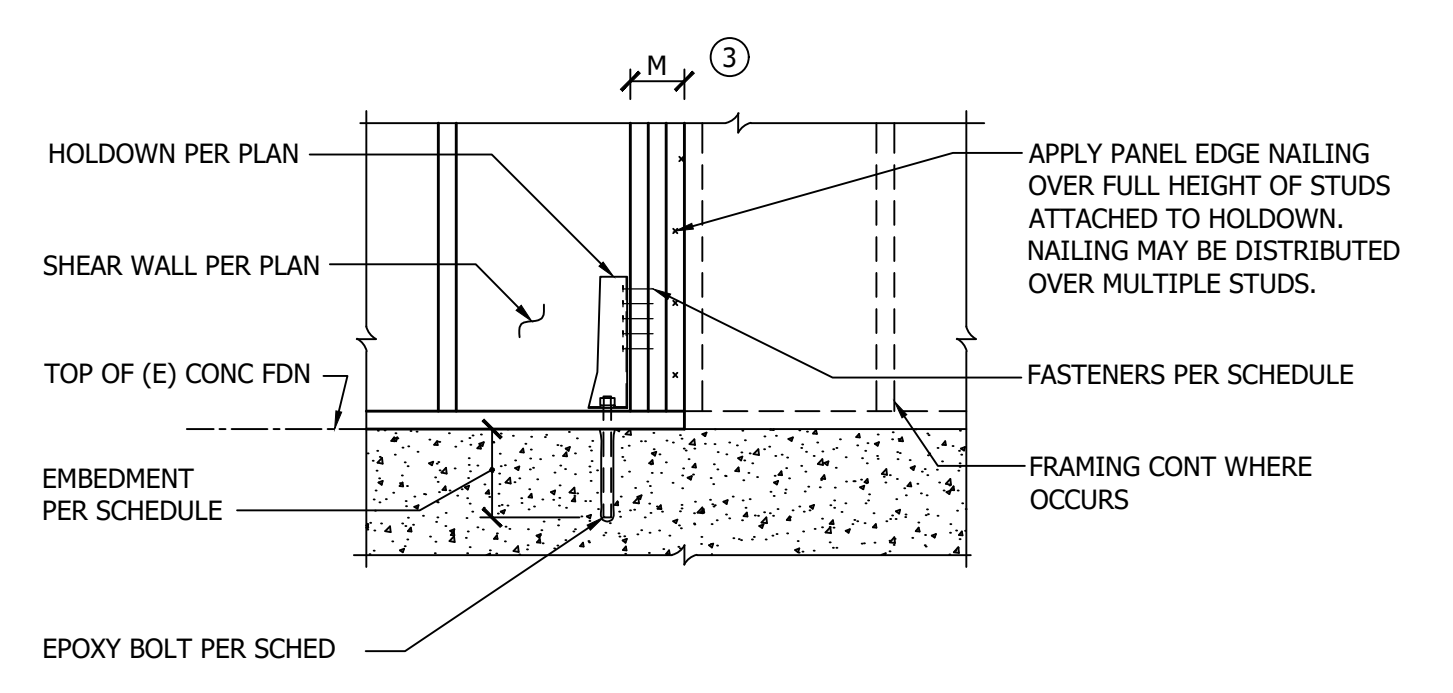
3 Simpson Shear Wall at Existing Rake Wall
 3/4" = 1'-0"



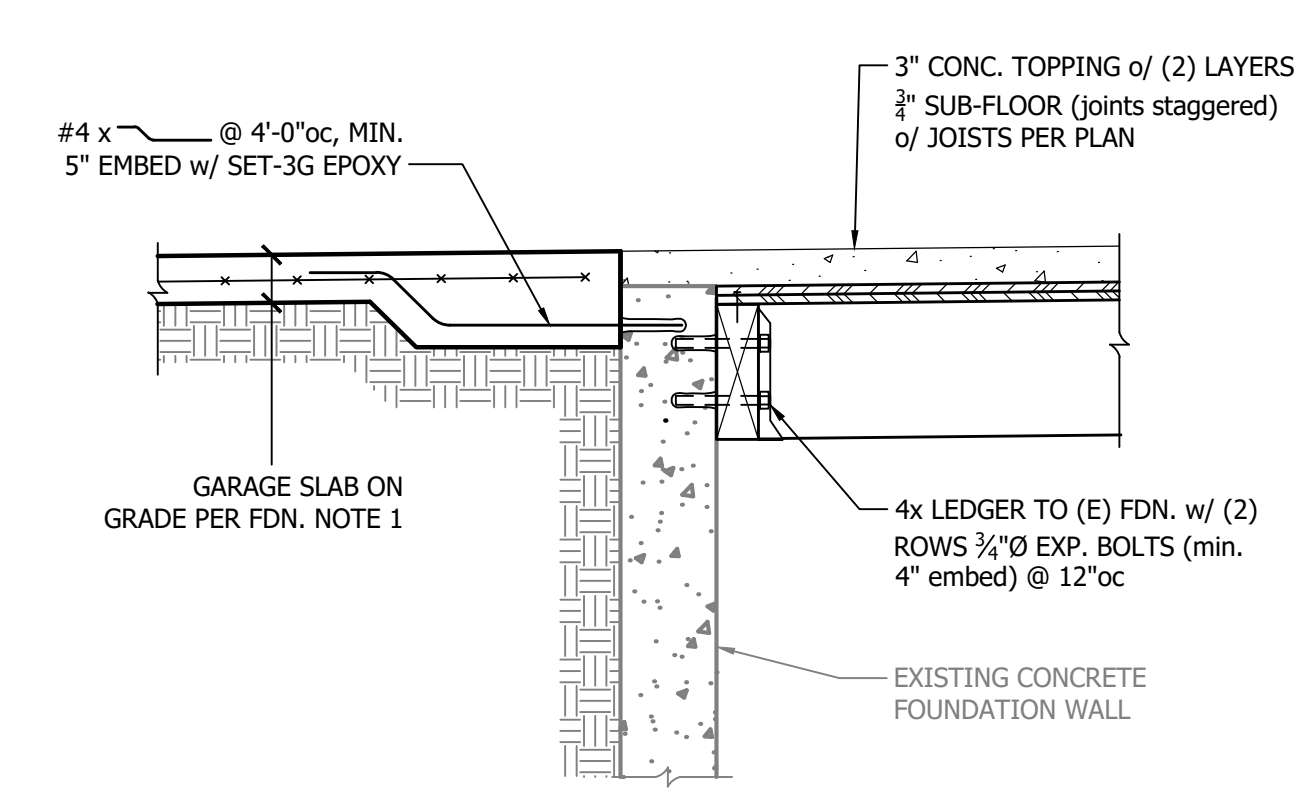
4 Elevation at Rake Wall to Simpson Shear Wall
 3/4" = 1'-0"

HOLDOWN SCHEDULE ① ② ④						
MARK	FASTENERS	M ③	WALL			CAPACITY
			ANCHOR ROD	EMBEDMENT	EDGE DISTANCE	
HDU8	(20) SDS 1/2" x 2 1/2"	4x6	7/8"	16"	3"	7,870#
HDU14	(36) SDS 1/2" x 2 1/2"	4x8	1"	20"	3"	12,375#

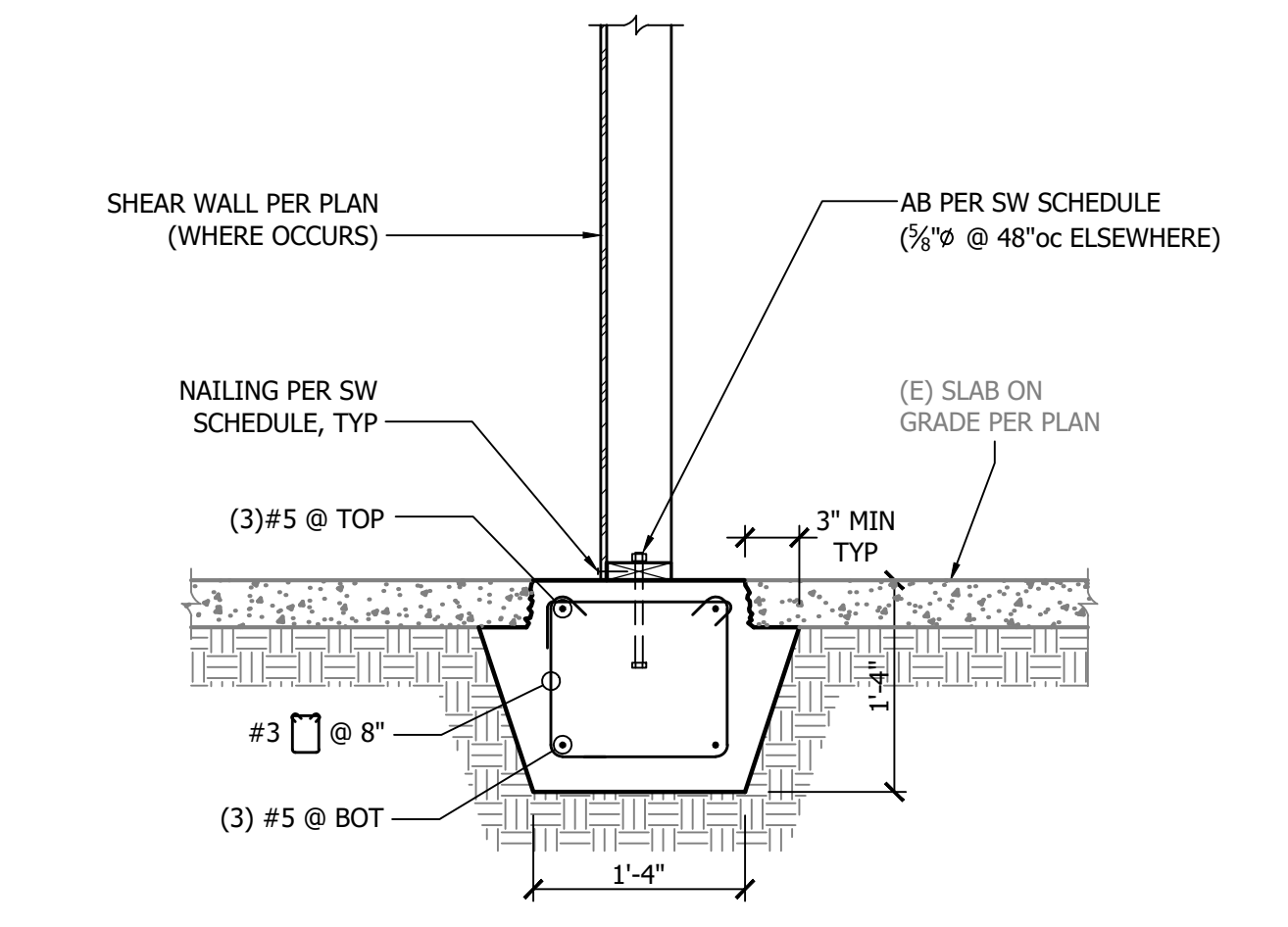
- ① PLACEMENT OF ANCHOR ROD IS BASED ON SIMPSON SET-XP EPOXY.
- ② INSTALL ALL HOLDOWNS AND EPOXY PER MANUFACTURER'S INSTRUCTIONS.
- ③ DEPTH OF WOOD FRAMING MEMBER ATTACHED TO HOLDOWN. MEMBERS SHALL BE HEM-FIR UNLESS NOTED OTHERWISE NOTED.
- ④ MIN 6" CONCRETE WALL THICKNESS REQUIRED.



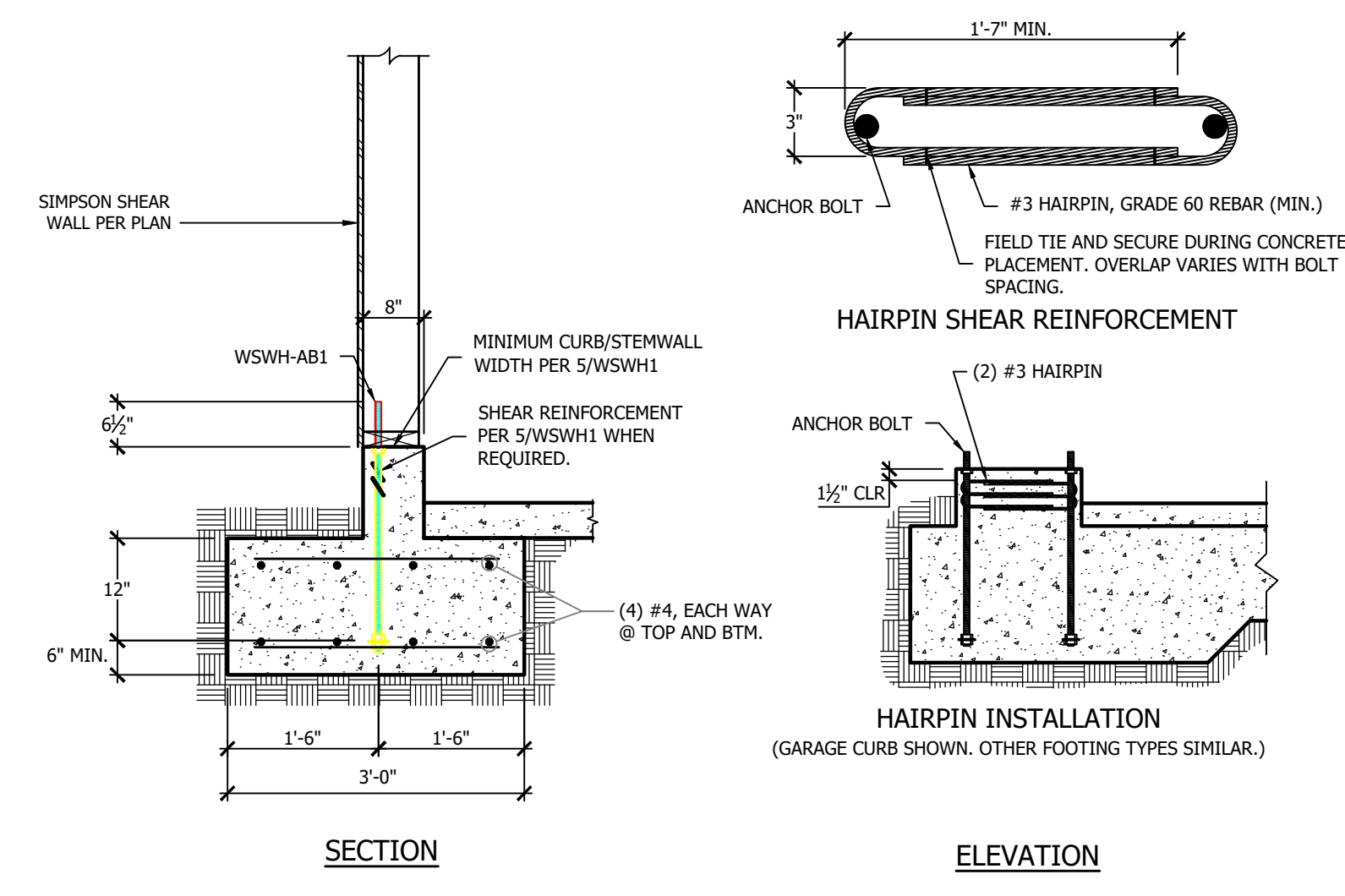
5 Retrofit Holddown Schedule
 3/4" = 1'-0"



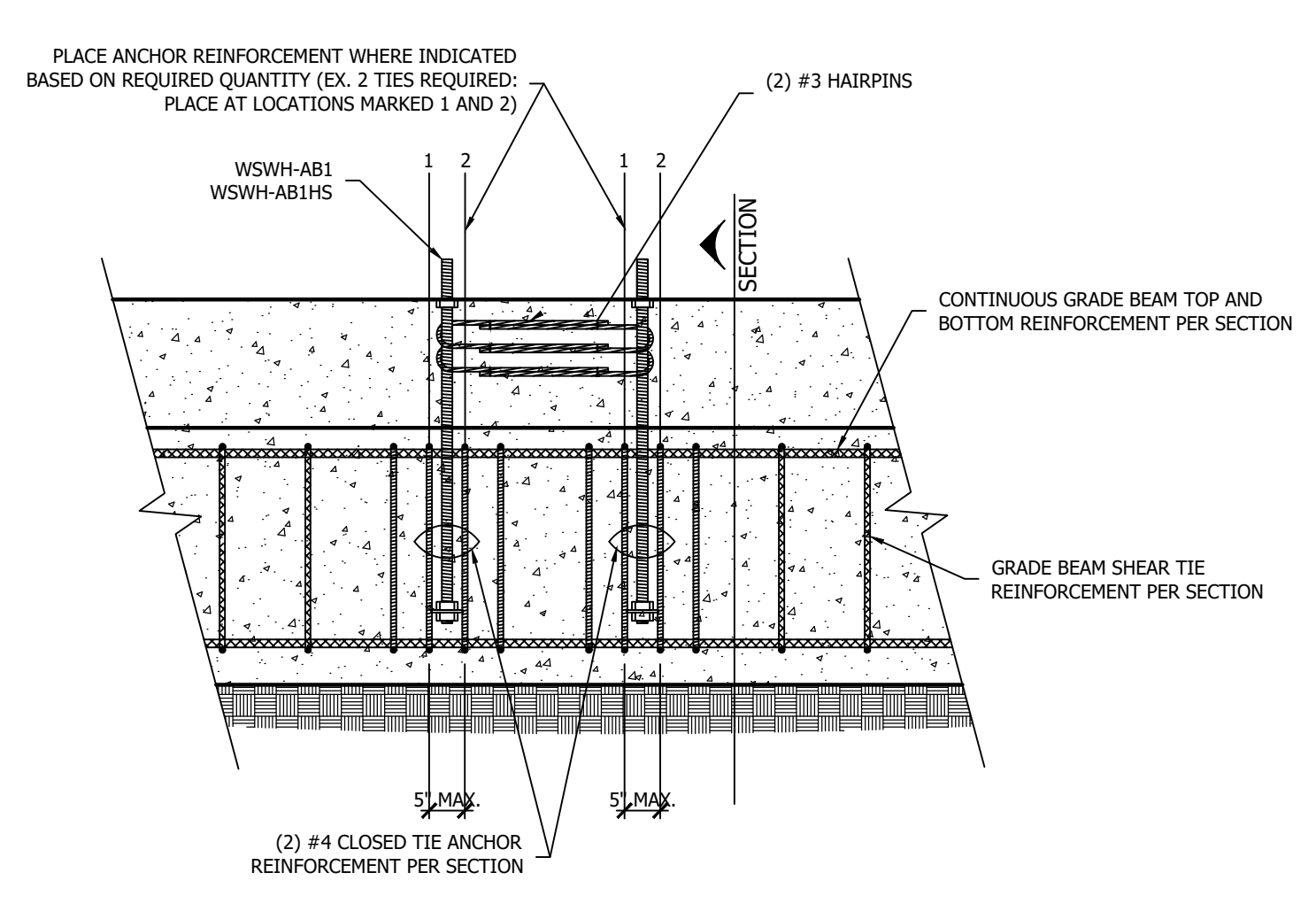
7 Framed-to-SOG Garage Floor Transition
 3/4" = 1'-0"



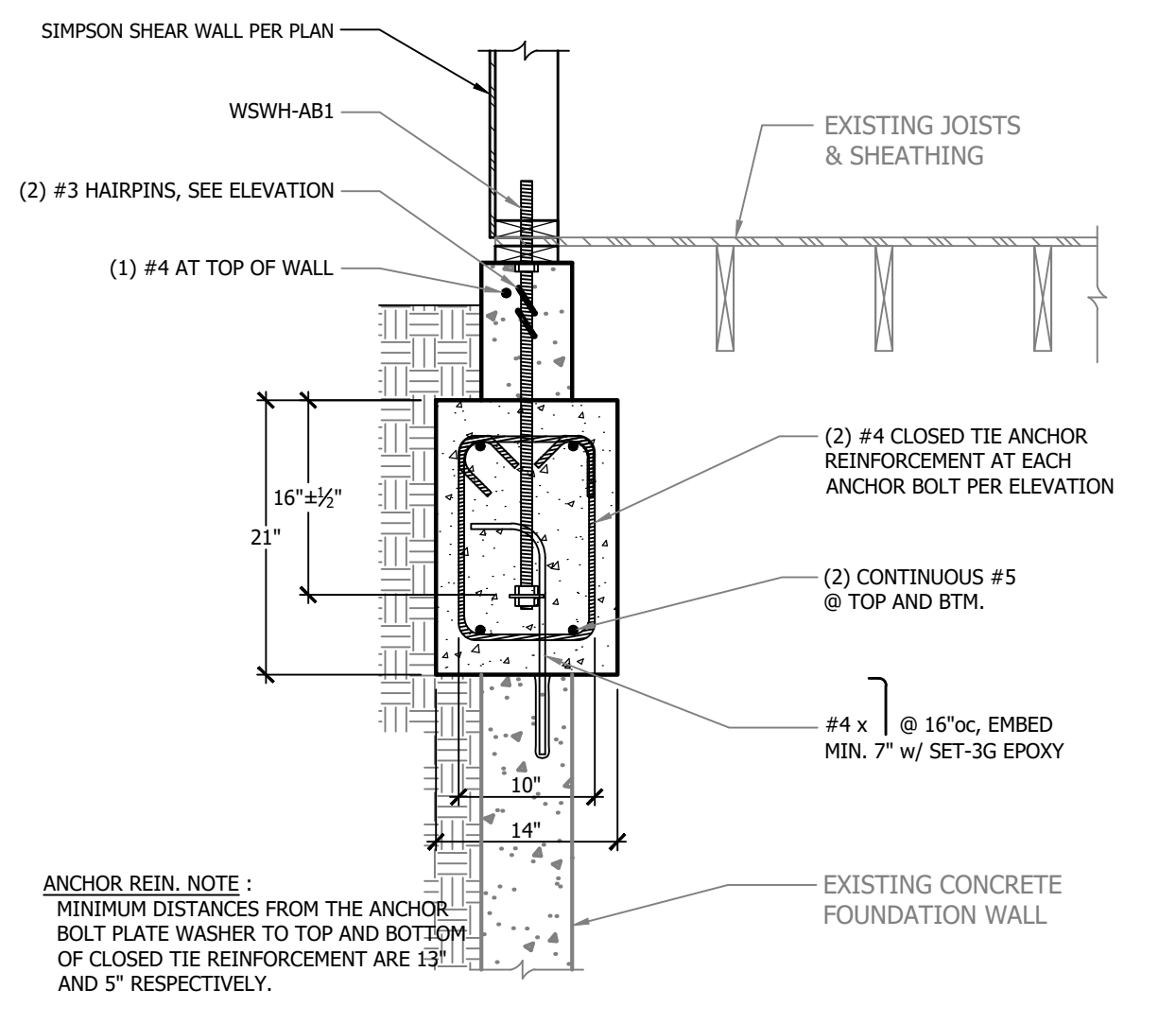
8 Cont. Grade Beam at Existing Slab on Grade
 3/4" = 1'-0"



9 Simpson Shear Wall Anchorage and Reinforcement at Garage Ftg.
 3/4" = 1'-0"



11 Simpson Shear Wall Anchorage and Reinforcement at Grade Beam
 3/4" = 1'-0"



ANCHOR REIN. NOTE:
 MINIMUM DISTANCES FROM THE ANCHOR BOLT PLATE WASHER TO TOP AND BOTTOM OF CLOSED TIE REINFORCEMENT ARE 13" AND 5" RESPECTIVELY.