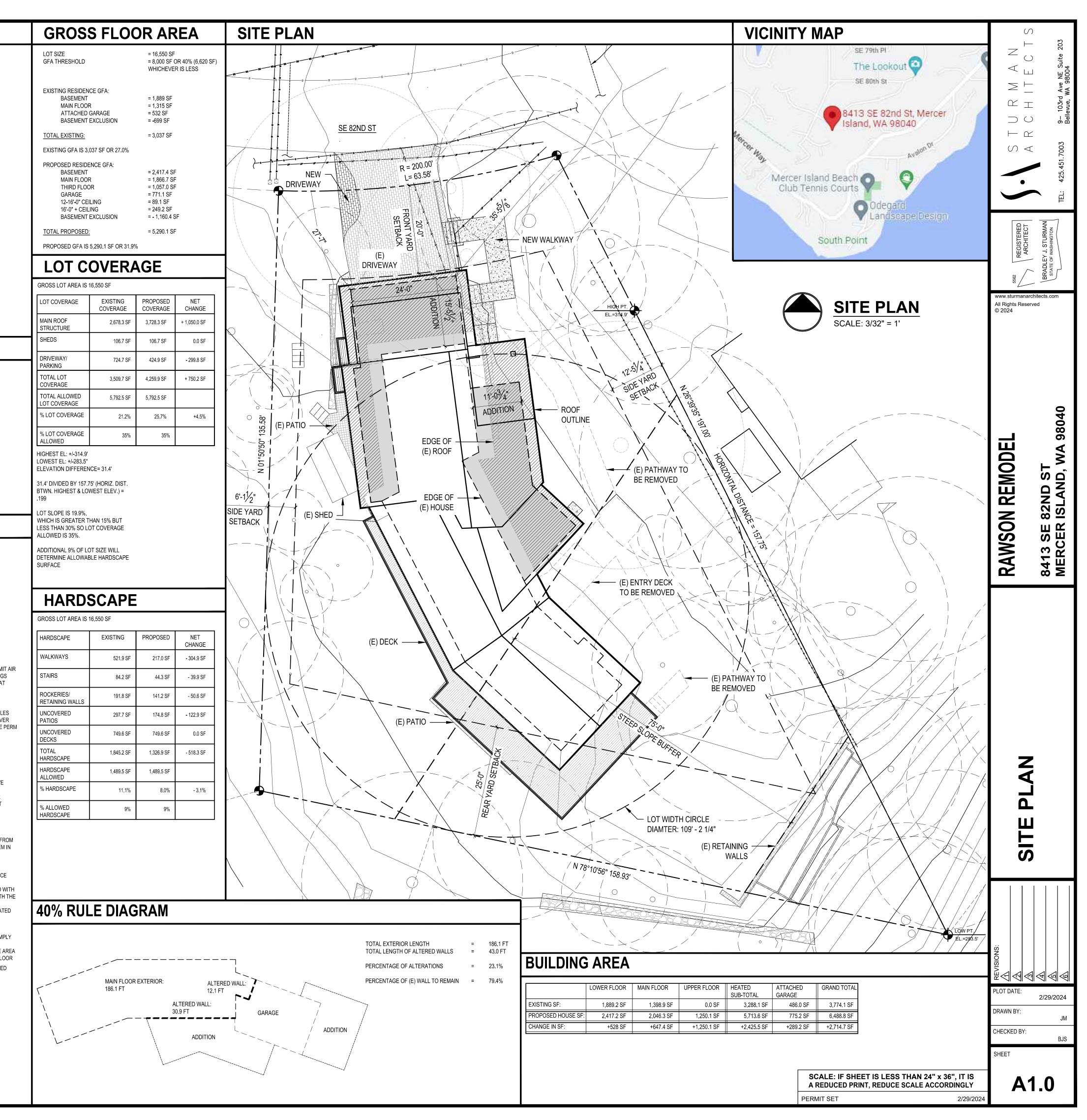
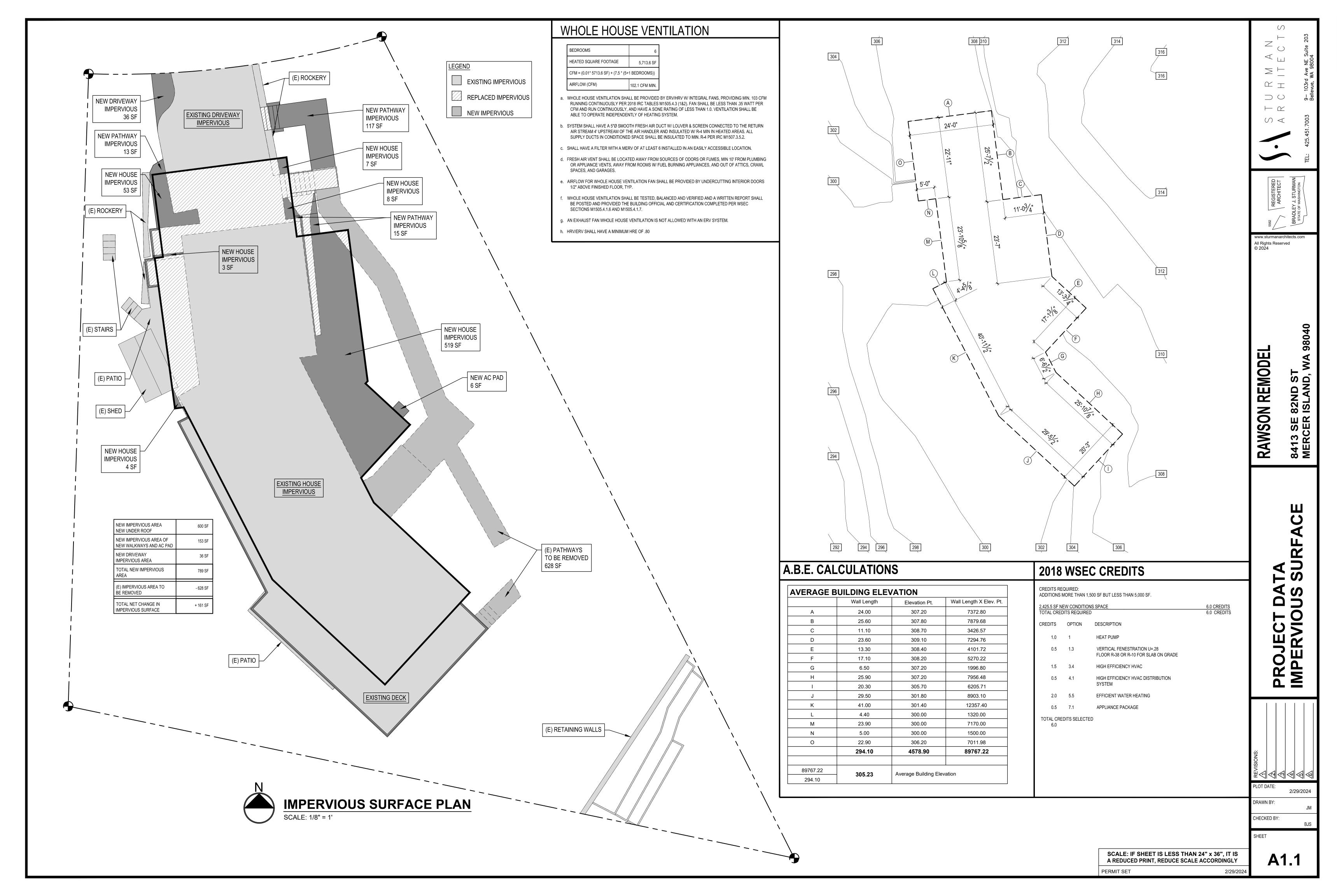
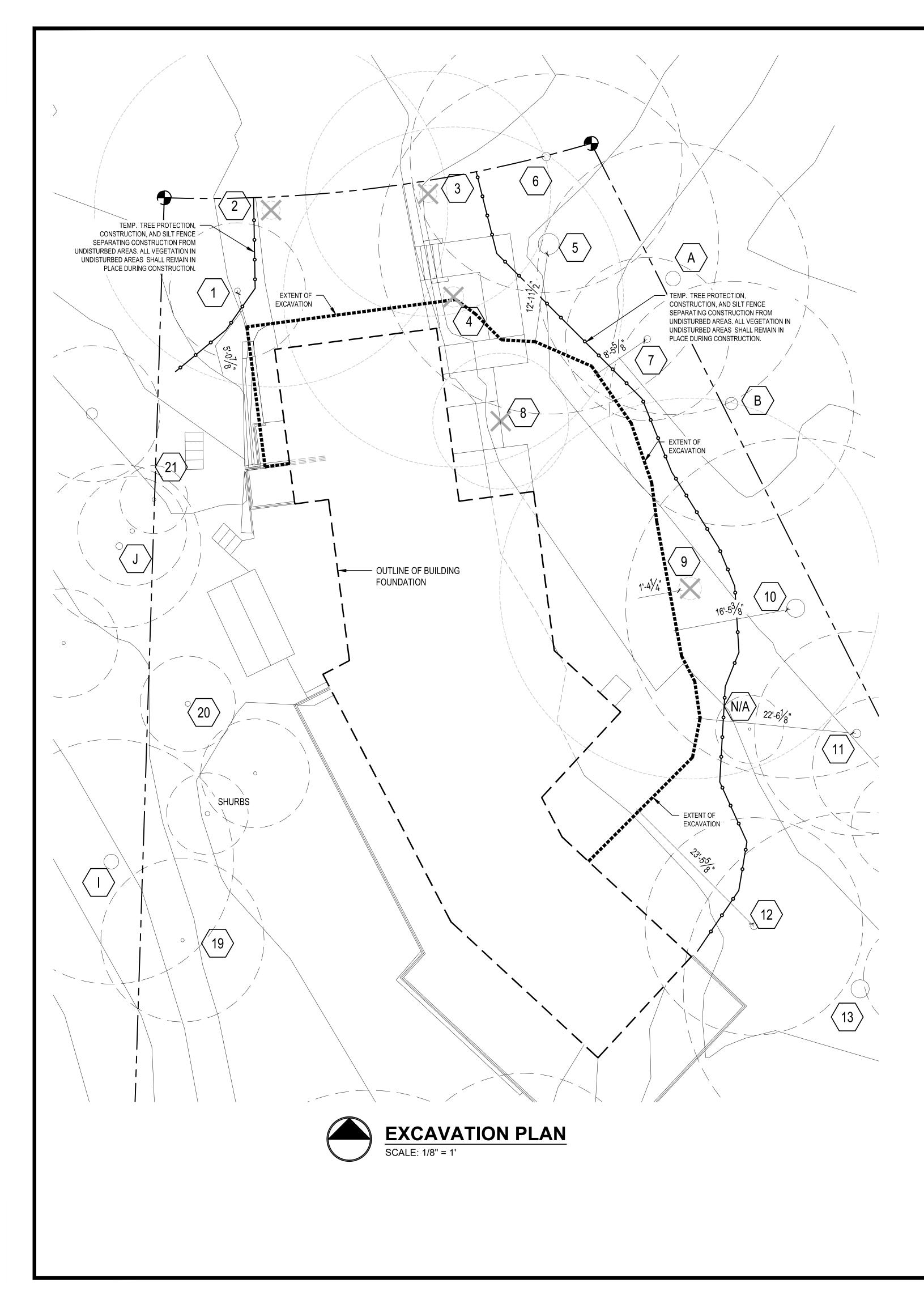
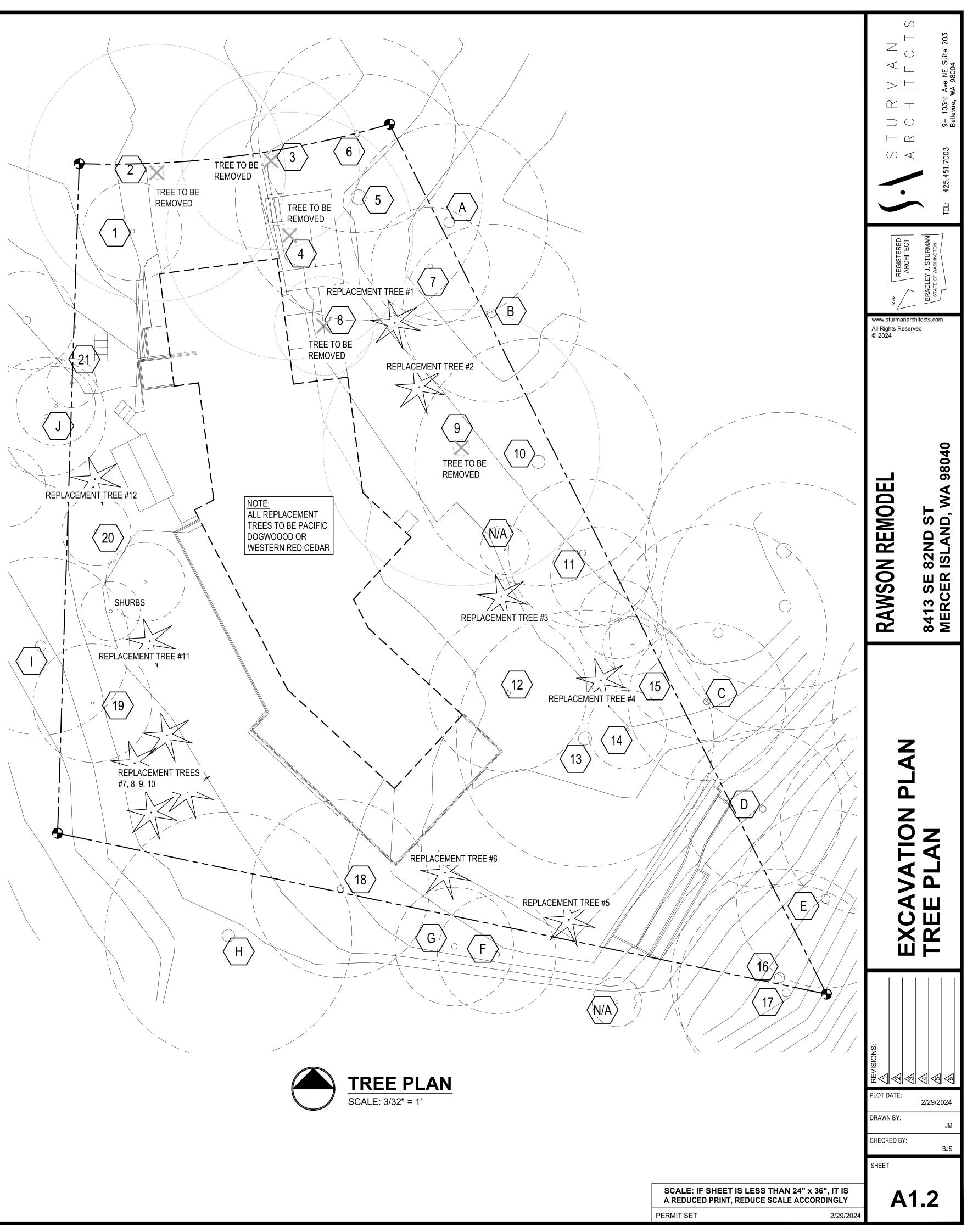
PROJECT DA	ΑΤΑ	PROJ	ECT TEAM
PROJECT ADDRESS: PROPERTY TAX ID NUMBER: SCOPE OF WORK: ZONING: CONSTRUCTION TYPE: SEISMIC ZONE: NUMBER OF STORIES: BUILDING HEIGHT LIMIT: LOT AREA: SETBACKS: ISLAND POINT ADD #2 AND UND INT I PLat Block: Plat Lot: 8 DUTTY OF COO RELEASE AND ACCEPTANCE OF T AMONG THE OWNER, CONTRACTO OMISSIONS, OR DISCREPANCIES I SHALL BE REPORTED IMMEDIATEL SHALL RELIEVE STURMAN ARCHIT CONSEQUENCES. ANY DEVIATIONS FROM THESE DO ARCHITECTS ARE UNAUTHORIZED	8413 SE 82ND ST MERCER ISLAND, WA 98040 362560-0080 STRUCTURAL REMODEL OF THE EXISTING MAIN FLOOR WITH A NEW 289 SF GARAGE AND 528 SF ENTRY EXPANSION ALONG WITH A NEW 1,250 SF UPPER FLOOR. R-9.6 TYPE V B 3 1 STORY + DAYLIGHT BASEMENT + NEW UPPER FLOOR 30 FT ABOVE AVERAGE BUILDING ELEVATION (FLAT ROOF) 35 FT ABOVE AVERAGE BUILDING ELEVATION (SLOPED ROOF) 16,550 SF FRONT LOT LINE = 20' -0" REAR LOT LINE = 25' -0" SIDE LOT LINE = 25' -0" SIDE LOT LINE = 18' - 6 3/4" TOTAL (6' - 1 1/2" MIN) PERATION N COMMUNITY TR PERATION MESE DOCUMENTS INDICATES COOPERATION DR, AND STURMAN ARCHITECTS. ANY ERRORS, DISCOVERED IN THE USE OF THESE DOCUMENTS LY TO STURMAN ARCHITECTS. FAILURE TO DO SO TECTS FROM ANY RESPONSIBILITY FOR THE COUMENTS WITHOUT THE CONSENT OF STURMAN D, FAILURE TO OBSERVE THESE PROCEDURES SHALL	OWNER: ARCHITECT: STRUCTURAL: ARBORIST: SURVEYOR: GEOTECH: GEOTECH: A1.0 GENERAL N A1.1 PROJECT D IMPERVIOU	DANIEL AND LINDA RAWSON 8413 SE 82ND ST MERCER ISLAND, WA 98040 PHONE CONTACT: STURMAN ARCHITECTS, INC. 9-103RD AVE NE SUITE 203 BELLEVUE, WA 98049 PHONE: 245.451.7003 CONTACT: BRAD STURMAN ANNEE STRUCTURAL ENGINEERING, LLC 1801 18TH AVE SOUTH SEATTLE, WA 98144 PHONE: 206.5658.5169 CONTACT: MIKE ANNEE ARBOR INFO, LLC 2406 N CASTLE WAY BEITER, WA 98038 PHONE: 206.503.01971 CONTACT: TOM HANSON TERRANE 10001 MAIN STREET, SUITE 102 BELLEVUE, WA 98004 PHONE: 25.458.4488 CONTACT: JACOB MILLER COBALT GEOSCIENCES, LLC P.O. BOX 1792 NORTH BEND, WA 98045 PHONE: 206.331.1097 CONTACT: PHIL HABERMAN TINDEEX
RELIEVE STURMAN ARCHITECTS O ARISING FROM SUCH ACTIONS.	DF RESPONSIBILITY FOR ALL CONSEQUENCES	A2.0 LOWER FLC A2.1 MAIN FLOO A2.2 UPPER FLC A2.3 ROOF PLAN ROOF VEN A2.4 FAR DIAGR	OOR PLANS1.1GENERAL STRUCTURAL NOTES AND SCHEDULESOR PLANS2.0FOUNDATION PLANN ANDS2.1MAIN FLOOR FRAMING PLANT CALCULATIONSS2.2UPPER FLOOR FRAMING PLAN
INTERNATIONAL ENERGY CONSERV WITH ALL LOCAL CODES, ORDINANC 2. DIMENSIONS	IE 2018 IRC, 2018 IMC, 2018 IFGC, 2018 IFC, 2018 UPC, 2018 IPMC, 2020 NEC, 2015 ATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND CES, AND COVENANTS OF THE JURISDICTION WHERE IT IS BUILT.	A3.0 ELEVATION A3.1 ELEVATION A4.0 BUILDING S A4.1 BUILDING S A4.2 BUILDING S A4.3 BUILDING S	NSS3.0STRUCTURAL DETAILSNSS3.1STRUCTURAL DETAILSSECTIONSS3.2STRUCTURAL DETAILSSECTIONSS3.3STRUCTURAL DETAILS
ARCHITECT OF DISCREPANCIE SUBCONTRACTOR PROCEED A			GY NOTES
 OF STONE VENEER LIES 6" +/- STUDS UNLESS OTHERWISE N C. VERIFY ALL ROUGH-IN DIMENS APPLIANCES PRIOR TO COMM TOLERANCES REQUIRED. DOCUMENT REVIEW/VERIFICATIOI CONSULT WITH ARCHITECT REGA PROCEEDING WITH THE WORK. AF FROM THE DRAWINGS OR SPECIF ROUGH OPENINGS/BACKING: VERIFY SIZE AND LOCATION, AS W CURBS, ANCHORS, INSERTS, EQU FURRING: PROVIDE FURRING AS REQUIRED FURRING NOT SHOWN ON PLANS : GRADES: VERIFY ALL GRADES A' FLOOR LINES: "FLOOR LINE" REFE REPETITIVE FEATURES: OFTEN DF DOORS: DOORS NOT DIMENSIONALLY LOC CENTERED BETWEEN WALLS AS S WOOD MEMBERS IN CONTACT WIT TO BE PRESSURE TREATED, TYPIC TYPICAL. FRAMING: ALL NEW INTERIOR FRAME PARTI' @ 16" O.C., UNLESS OTHERWISE N STUDS @ 16" O.C., AND ARE TO RE VENT ALL BATHROOM FANS, LAUN BATHROOM/UTILITY ROOM FANS, STUDS @ 16" O.C., AND ARE TO RE VENT ALL BATHROOM FANS, LAUN BATHROOM/UTILITY ROOM FANS, LAUN BATHROOM/UTILITY ROOM FANS, STUDS @ 16" O.C., AND ARE TO RE VENT ALL BATHROOM FANS, LAUN BATHROOM/UTILITY ROOM FANS, LAUN BATHROOM/UTILITY ROOM FANS, STUDS @ 16" O.C., AND STUDS @ 16" O.C., PROTECT ALL EXISTING FINISHES TO OWNER. FLUES: FLUES TO BE LOCATED MII DOWNSPOUTS: LOCATE NEW DOV OTHER DOCUMENTATION: REFER TO STRUCTURAL, MECHAN NOTES, SCHEDULES, AND SYMBO PROTECT ALL EXISTING FINISHES TO OWNER. PROTECTION: PROTECT ALL EXISTING FINISHES TO OWNER. PROMIDE COMBUSITON AIR OPENIC EXHAUST DUCTS: PROVIDE BACKING EXHAUST DUCTS: PROVIDE BACKING EXHAUST DUCTS: PROVIDE BACKING EXHAUST DUCTS: PROVIDE BACKING PROVIDE COMBUSITON AIR OPENIC PROR TO THE COMMENCEMENT OF SMOKE & CARBON MONOXIDE THA REQUIREMENTS. <li< td=""><td>SIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND ITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL N: RDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE ICATIONS. VELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, JIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS. TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION. ND THEIR RELATIONSHIP TO THE BUILDING(S). IRS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR. AWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN. HIC DICRETE, AND/OR EXPOSED TO WEATHER: CAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8", TIONS TO BE 2X4 @ 16" O.C., & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 WOTED. VERIFY WI STRUCTURAL DRAWINGS. EXISTING EXTERIOR WALLS ARE 2X4 EMAIN. UNRY FANS, RANGE HOODS AND DRYER VENTS TO OUTSIDE ATMOSPHERE. SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. NIMUM 2" FROM ALL COMBUSTIBLE MATERIALS. VINSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS. IICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, LS. AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST ICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC G TO MATCH EXISTING. DRAFT DAMPERS AT ALL EXHAUST DUCTS. INCS INTO FURNACE ROOM PER UMC 703. IANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING. TH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE. ROUGHT NEW CONSTRUCTION. TO BE MONITORED PER FIRE DEPARTMENT IULE WALK-THROUGHS AT EACH OF THE VELOW NOTED INTERVALS AT MINIMUM: OF CONSTRUCTION OF MECHANICAL & ELECTRICAL WORK</td><td>CODE: CLIMATIC ZONE: SPACE HEAT TYPE: INSULATION VALUES PRESCRIPTIVE METH THERMAL STANDAR FOR OPENINGS: AIR INFILTRATION: MOISTURE CONTROL MOISTURE CONTROL VENTILATION: HEATING & COOLING TEMP. CONTROL: DUCT INSULATION:</td><td> S. WALLS: R-21 FLAT ATTICS/CEILINGS: R-49 VAULTED CEILINGS: R-38 FLOORS (OVER UNHEATED SPACES): R-30 SLAB-ON-GRADE: R-10 RDS UNLIMITED OPTION MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIM LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENING BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF; OPENINGS IN THE BUILDING ENVELOPE DL: WALLS: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPL NOT MORE THAN 8 INCHES ON CENTER AND AND WITH A GAP BETWEEN AND OV FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE) ATTICS WITH LOOSE FILL: N.A. 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PROVIDED THAT THESE CAVITIES ARE F CODE REQUIRED VENTILATION CLEARA	FILLED WITH INSULATION WHILE MAINTAINING		



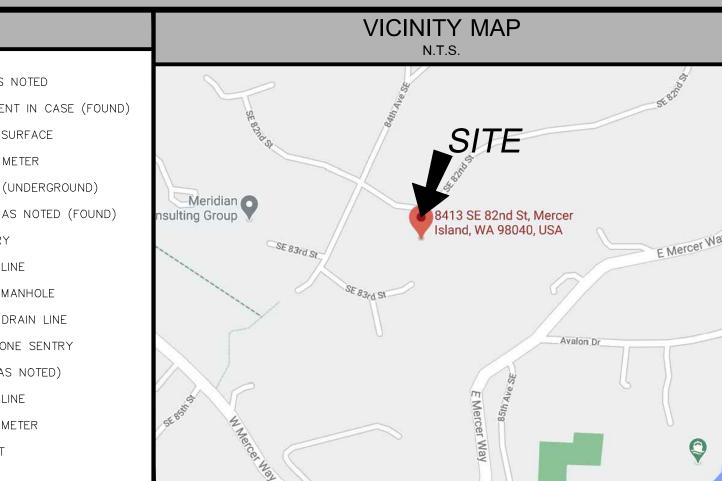


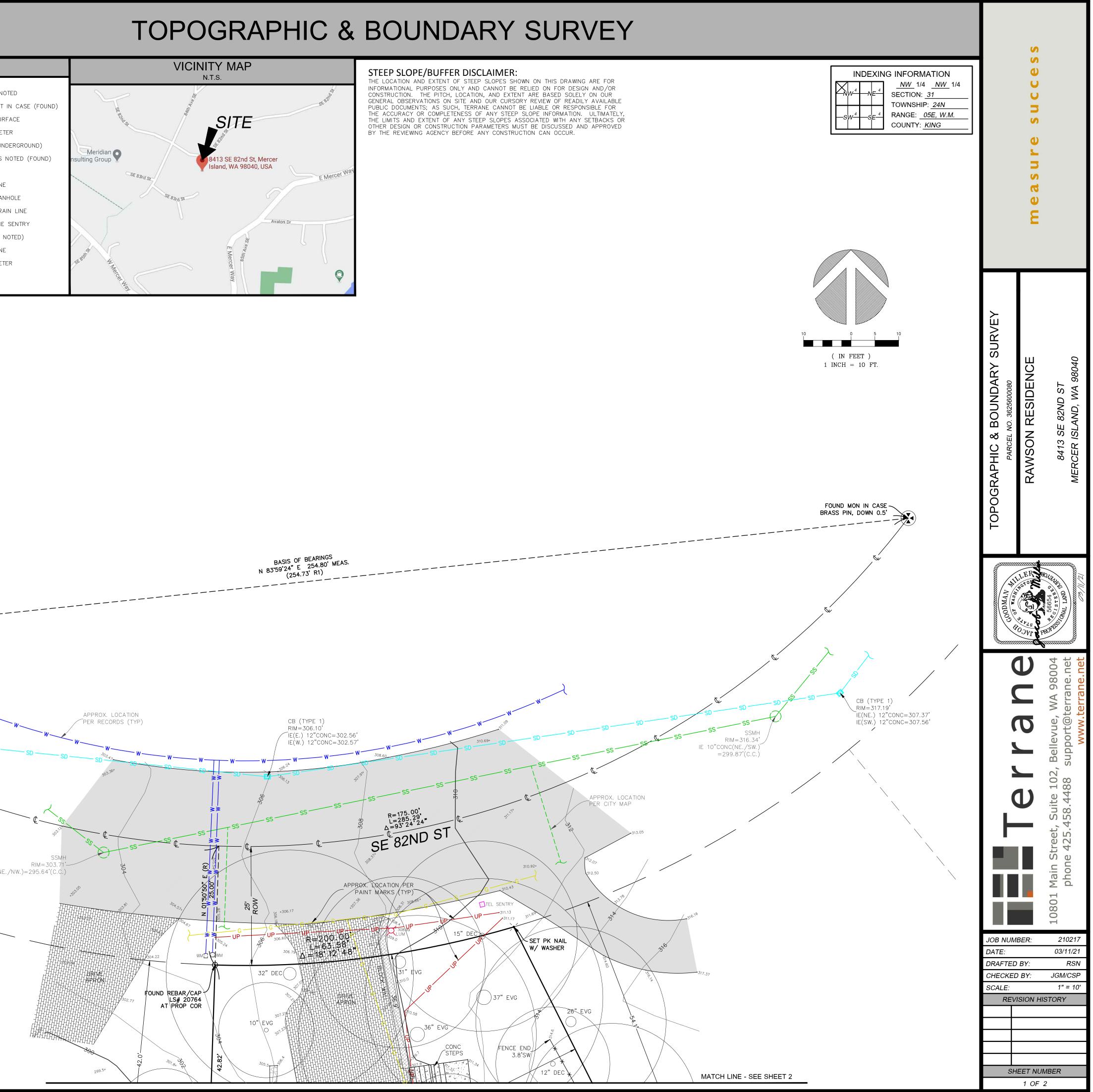


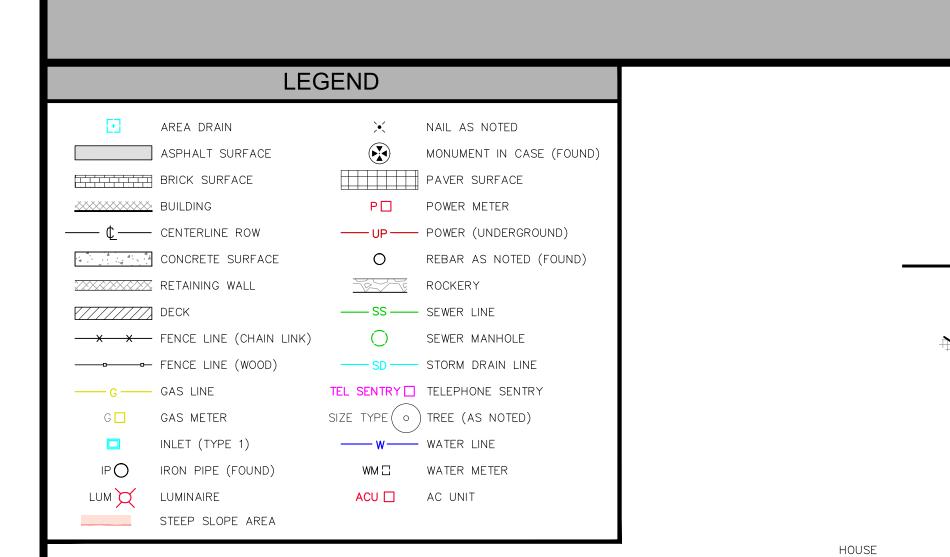




LEGAL DESCRIPTION					
(PER STATUTORY WARRANTY DEED RECORDING #20130)730002745)				
LOT 8, ISLAND POINT NO. 2, ACCORDING TO THE PLA RECORDED IN VOLUME 79 OF PLATS, PAGE(S) 18 AND COUNTY, WASHINGTON.			LE	GEND	
BASIS OF BEARINGS		Ð	AREA DRAIN	×	NAIL AS NOTED
N 83°59'24" E BETWEEN FOUND CENTERLINE MONUMEN ALONG SE 82ND ST – CALCULATED PER R1	TATION		ASPHALT SURFACE	× ×	MONUMENT IN C.
REFERENCES		<u> </u>	BUILDING CENTERLINE ROW	P []	POWER METER
R1. ISLAND POINT NO. 2 PLAT, VOL. 79, PG. 18,			CONCRETE SURFACE	0	REBAR AS NOTE
RECORDS OF KING COUNTY, WASHINGTON.	_			_	ROCKERY - SEWER LINE
NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #4	1360		FENCE LINE (CHAIN LINK)	Ŭ	SEWER MANHOLE STORM DRAIN LII
DB ID: 47498 ELEV: 299.86	-300	G G 🗖	GAS LINE GAS METER INLET (TYPE 1)	SIZE TYPE	TELEPHONE SEN [®] TREE (AS NOTED WATER LINE
SURVEYOR'S NOTES			IRON PIPE (FOUND)		WATER METER
 RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTIFICODOLITE. THE DATA FILE IS ARCHIVED ON DISWRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON ELEVATIONS. ALL MONUMENTS SHOWN HEREON WERE LOCATED INCOURSE OF THIS SURVEY UNLESS OTHERWISE NOT THE TYPES AND LOCATIONS OF ANY UTILITIES SHOUND ARWING ARE BASED ON INFORMATION PROVIDED TO THERS OR GENERAL INFORMATION READILY AVAIL PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENT MARKINGS PLACED BY UTILITY LOCATE SERVICES A BY TERRANE IN THE FIELD. AS SUCH, THE UTILITIES HOWN ON THESE DRAWINGS ARE FOR INFORMATION PROVIDED TO READILY AND SHOULD NOT BE RELIED ON OR CONSTRUCTION PURPOSES; TERRANE IS NOT RE LIABLE FOR THE ACCURACY OR COMPLETENESS OF INFORMATION. FOR THE ACCURATE LOCATION AND UTILITIES NECESSARY FOR DESIGN AND CONSTRUCT CONTACT THE SITE OWNER AND THE LOCAL UTILITIES REVICE (800–424–5555). SUBJECT PROPERTY TAX PARCEL NO. 36256000800 SUBJECT PROPERTY AREA PER THIS SURVEY IS 16 (0.38 ACRES) THIS SURVEY WAS PERFORMED WITHOUT THE BENEREPORT. EASEMENTS AND OTHER ENCUMBRANCES THAT ARE NOT SHOWN HEREON. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY MEASUREMENTS WITH A CALIBRATED ELECTRONIC STOTAL STATION AND/OR SURVEY GRADE GPS OBSIA ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACMEET THE STANDARDS SET BY WAC 332–130–090 	SC OR CD. ARE SHOWN N SPOT DURING THE ED. DWN ON THIS TO US, BY ABLE IN THE IFYING AND OBSERVED Y INFORMATION DNAL FOR DESIGN ESPONSIBLE OR THIS UTILITY D TYPE OF TION, PLEASE Y LOCATE D. 5,386± S.F. EFIT OF A TITLE MAY EXIST DIRECT FIELD 5-SECOND ERVATIONS. CCURATE AND				
		_CB (TYPE 1) RIM=299.95'			
FOUND MON IN CASE	<u> </u>				
BRASS PIN, DOWN 0.5' (BM #4360)	R R				
	۶D ۶D				
	8 (TYPE 1) M=299.89' (N.) 8"CONC=297.24'	SD 59	SD —— SD ——	SD SD	W-
	(N.) 8 CONC=297.24 (NW.) 12"CONC=296.83' (E.) 12"CONC=296.79'				— SD ———
			ų,		
				$\Delta = \frac{1}{38} \cdot \frac{65}{50} \cdot \frac{1}{46} $	K
				IE	10"CONC(NE./NW.
			/		
			/		







LOT 7

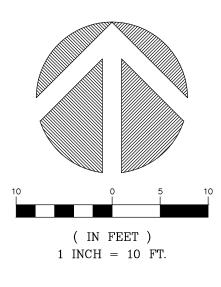
EALE

BLDG / OVERHANG

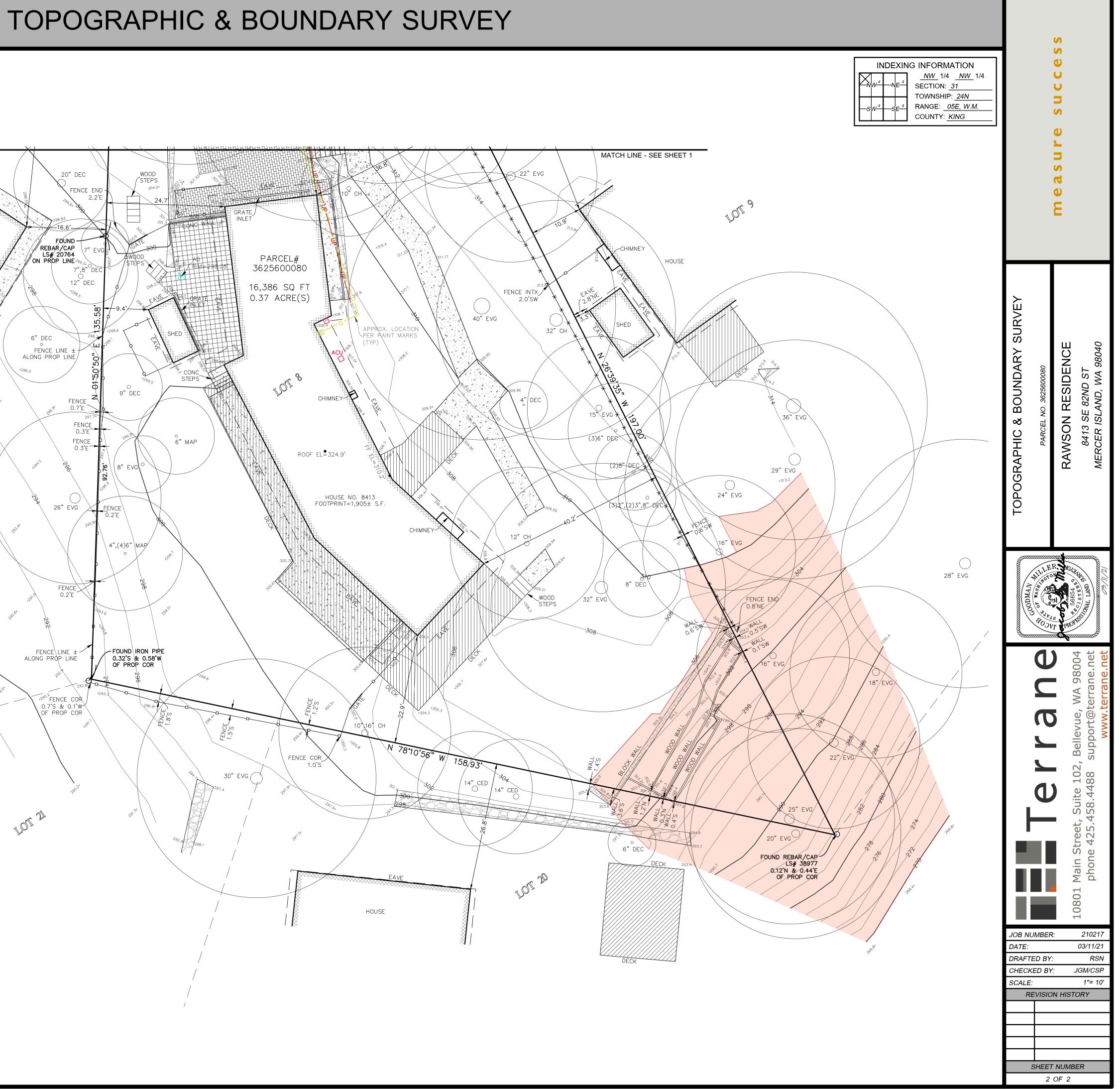
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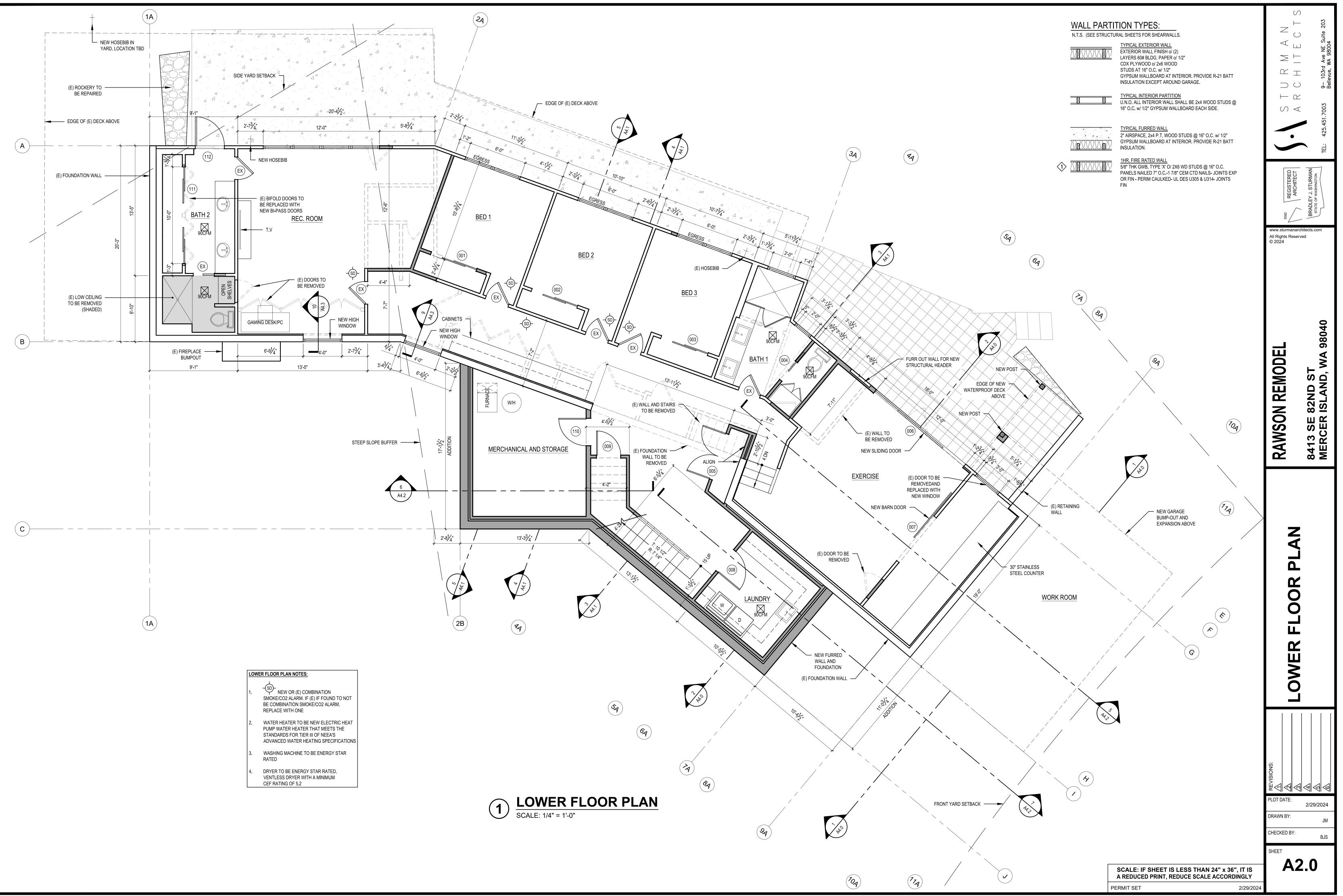
BLDG____ OVERHANG

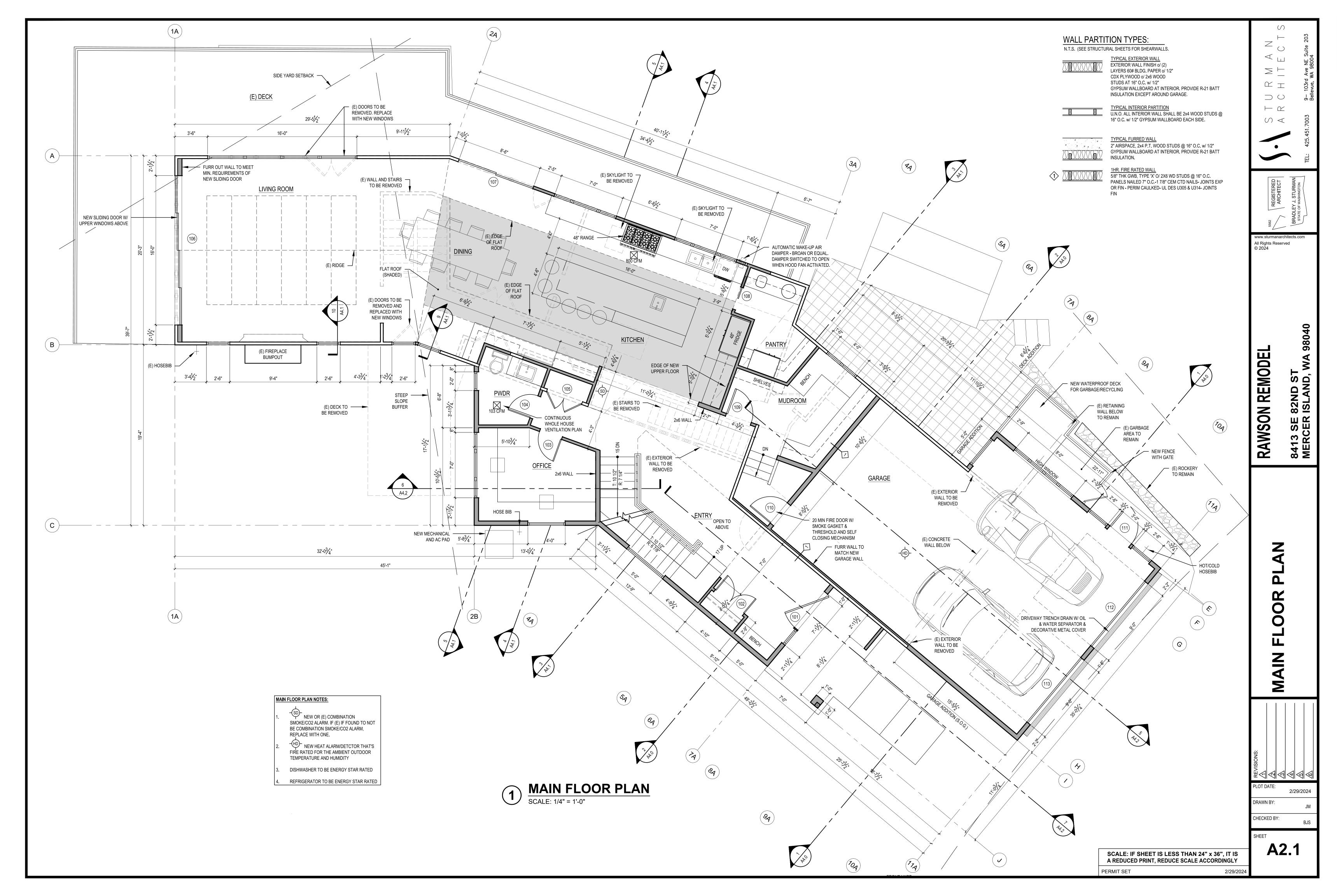
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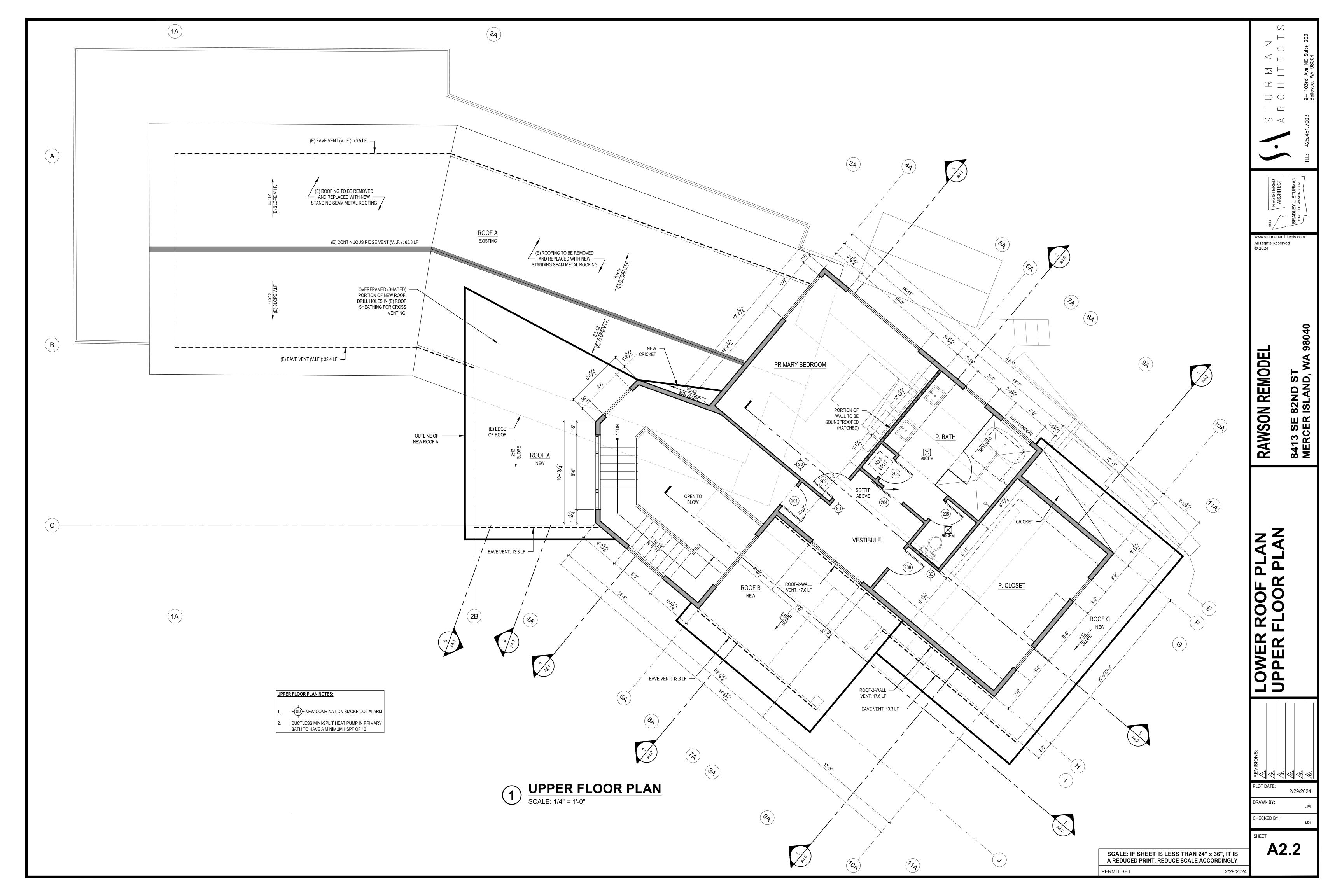


STEEP SLOPE/BUFFER DISCLAIMER: THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

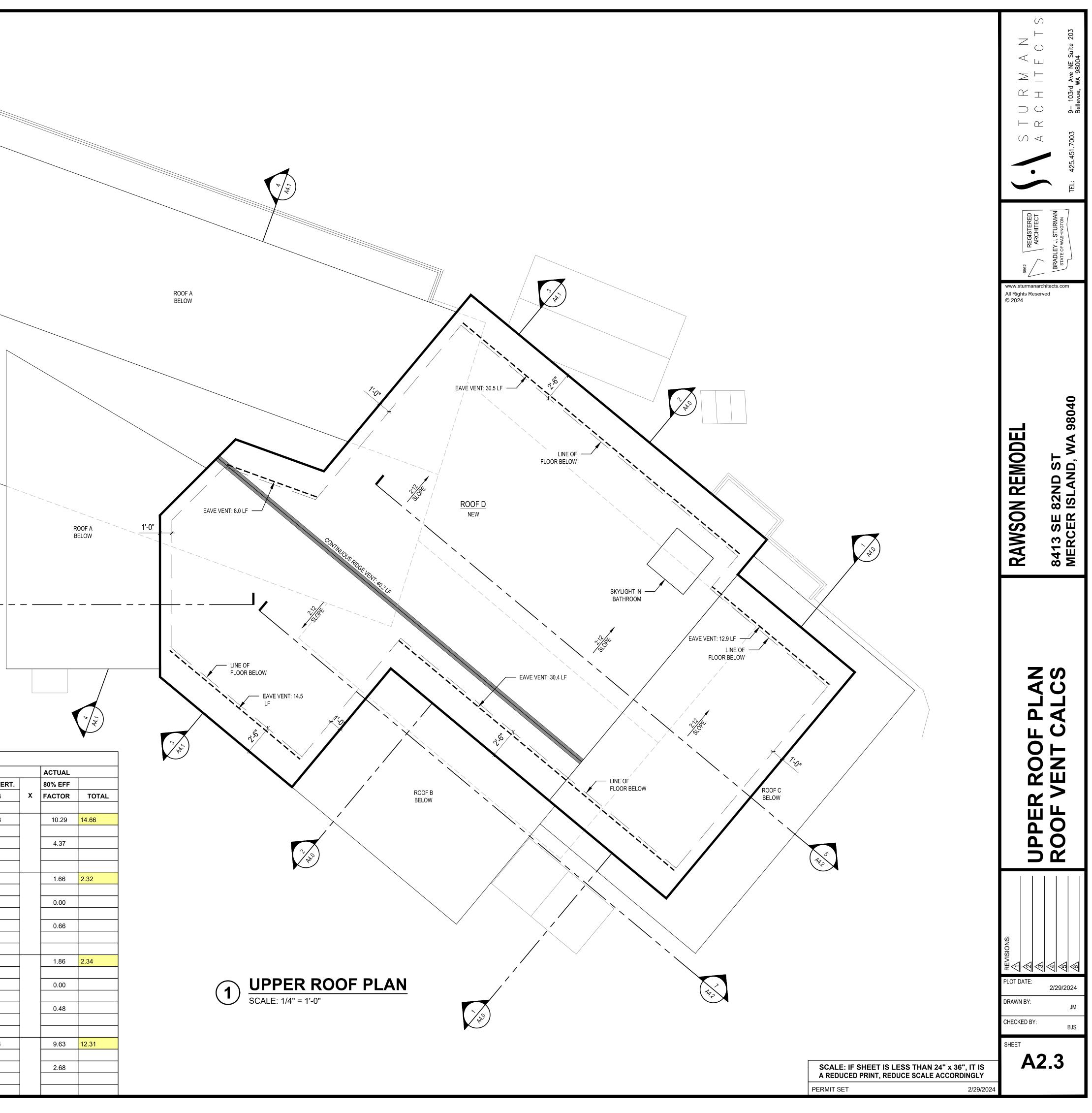


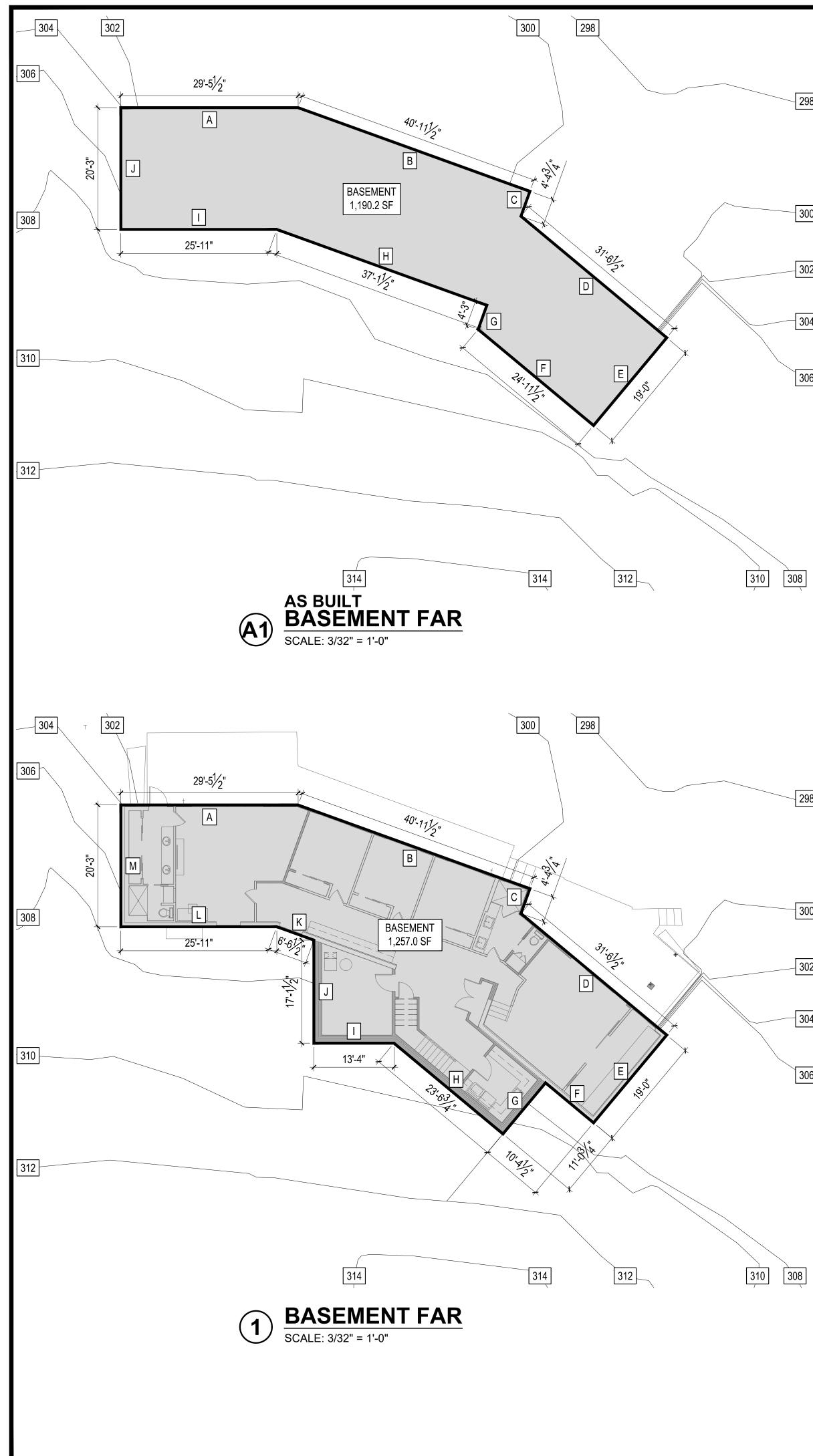




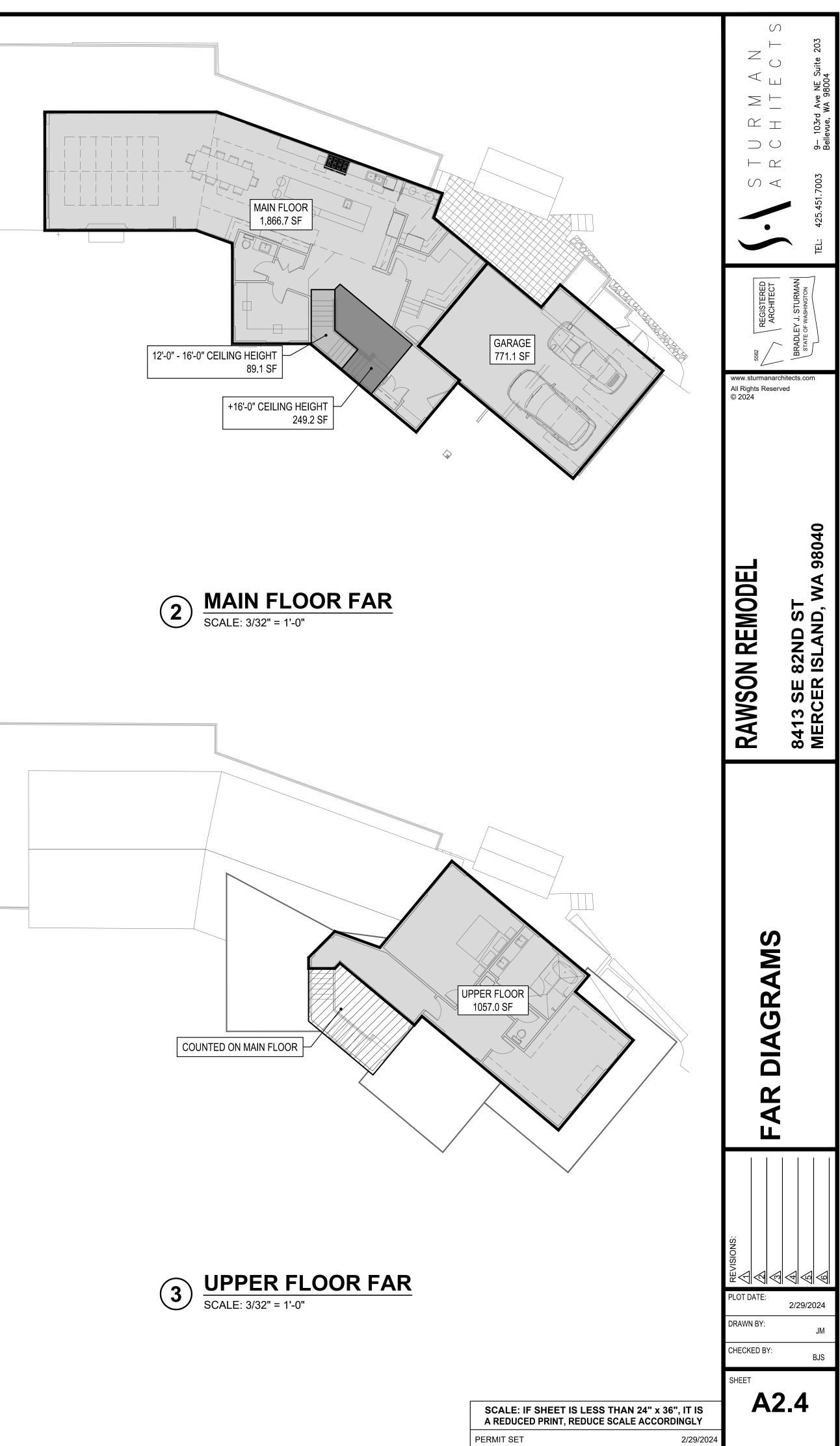


												
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											6 .4.2	
												L
ROOF VENT		ONS		1								
CODE REQUIREM	ENT SF AREA	REQ. VE			VENT TYPE		×	VENT L.F.		TOTAL	v	SF CONVER
		PER SF / 150	300	RIDGE	WALL-2-ROOF	EAVE 18 SQ.IN./FT.	X	102.9	=	VENT AREA SQ. IN. 1852.2	X	1/144
ROOF A	1,883	12.56		12 SQ.IN/FT.		1.5x1.0" VENT		65.6	-	787.2	-	5.47
	.,	12.00		CONTINUOUS					-	101.2	-	0.47
						18 SQ.IN./FT. 1.5x1.0" VENT		16.6	-	298.8	-	2.08
ROOF B	277	1.85		12 SQ.IN/FT. CONTINUOUS				0	-	0	-	0.00
					6.75 SQ.IN/FT 5-1/8"x3/4" VENT			17.6	-	118.8		0.83
						18 SQ.IN./FT.		18.6	-	334.8		2.33
BGGG				12 SQ.IN/FT.		1.5x1.0" VENT		0	-	0	-	0.00
ROOF C	291	1.94		CONTINUOUS	6.75 SQ.IN/FT			12.8	-	86.4	-	0.60
					5-1/8"x3/4" VENT	18 SQ.IN./FT.		96.3		1733.4	-	12.04
ROOF D	1,573	10.49		12 SQ.IN/FT.		18 SQ.IN./FT. 1.5x1.0" VENT		40.2	-	482.4	-	3.35
	.,	10.40		CONTINUOUS			•	+0.2	-		-	
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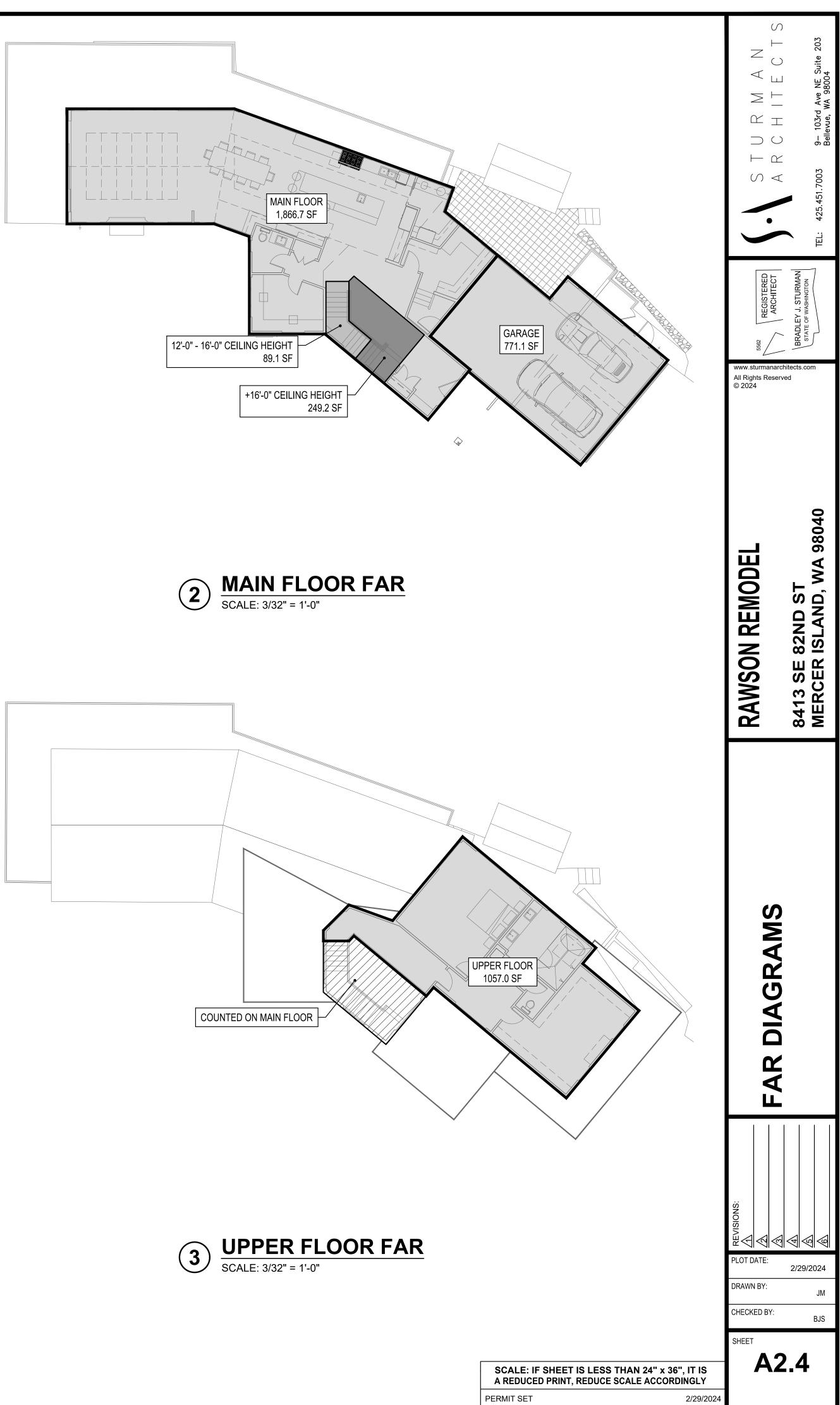




	Basement Floor Area = 1889.2 SF			
	Basement Ceiling Height = 8 FT			
298	SEGMENT	LENGTH	COVERAGE	RESULT
	A	38.9	6%	2.2951
	В	40.9	0%	0
	С	4.4	0%	0
	D	31.5	6%	1.79235
	E	19	100%	19
	F	24.9	51%	12.5745
300	G	4.3	99%	4.257
	Н	37.1	65%	24.0779
	I	25.9	67%	17.4307
302	J	20.3	53%	10.71028
302		247.2		92.13783
304	Portion of excluded Basement Floor Area = X SF			
	1,889.20	Х	92.13783	
			247.2	
306				
	1,889.20	Х	37%	
	699 SF EXCLUDED			
	BASEMENT AREA = 1190.	2 SF		



PF	ROPOSED BAS	SEMENT FLOC	OR AREA CALCUL	ATION
	sement Floor ea = 2417.4 SF			
	sement Ceiling ight = 8 FT			
298	SEGMENT	LENGTH	COVERAGE	RESULT
	A	38.9	6%	2.2951
	В	40.9	0%	0
	С	4.4	0%	0
	D	31.5	6%	1.79235
	E	19	100%	19
	F	10.4	100%	10.4
300	G	11.1	93%	10.2897
	н	23.6	96%	22.6678
	I	13.3	92%	12.26127
202	J	17.1	85%	14.5008
302	К	6.6	65%	4.28274
	L	25.9	67%	17.353
	М	20.3	53%	10.759
304		263		125.60176
Bas	tion of excluded sement Floor Area			
	7 SF 17.40	X	125.60176	
,		Λ	263	
2,4	17.40	Х	48%	
1,1	60.4 SF EXCLUDED			<u> </u>
BA	SEMENT AREA = 1257	.0 SF		



PROPOSED	GROS	S FLOOR ARE
	PROPOSED FLOOR AREA	LOT SIZE GFA THRESHOLD
BASEMENT	1,257.0 SF	PROPOSED GFA PROPOSED %GFA
MAIN FLOOR	1,866.7 SF	
THIRD FLOOR	1,057.0 SF	PROPOSED GFA IS OR 31.9%
GARAGE	771.1 SF	
12-16'-0" CEILING HEIGHT	89.1 SF	
16'-0" + CEILING HEIGHT	249.2 SF	
TOTAL	5,290.1 SF	

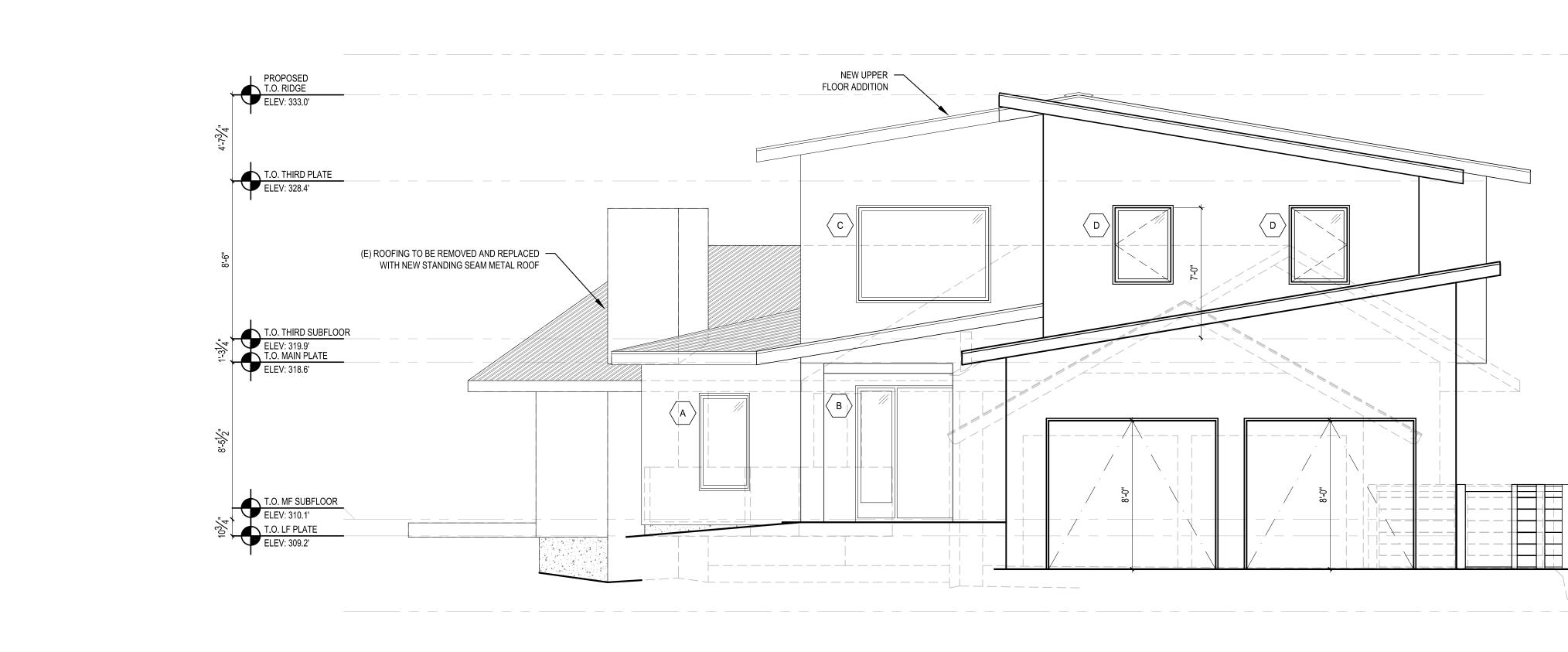
A = 5,290.1 SF SFA COVERAGE = 31.9%

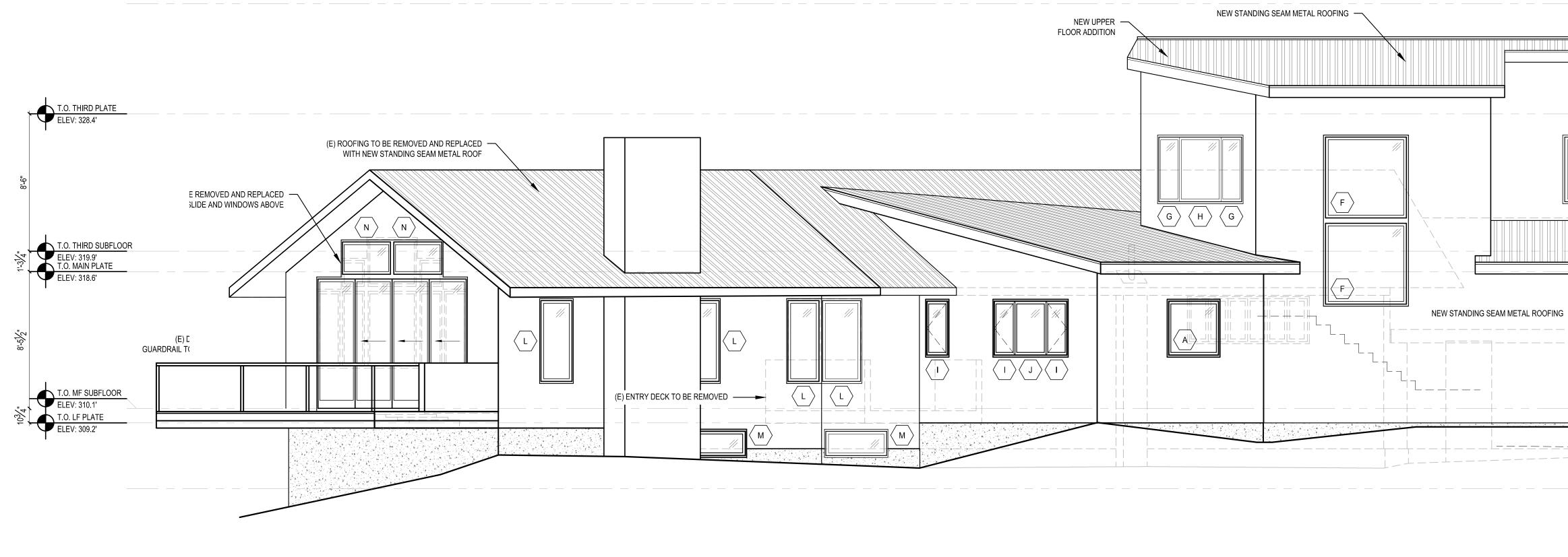
16,550 SF

= 6,620 SF

=

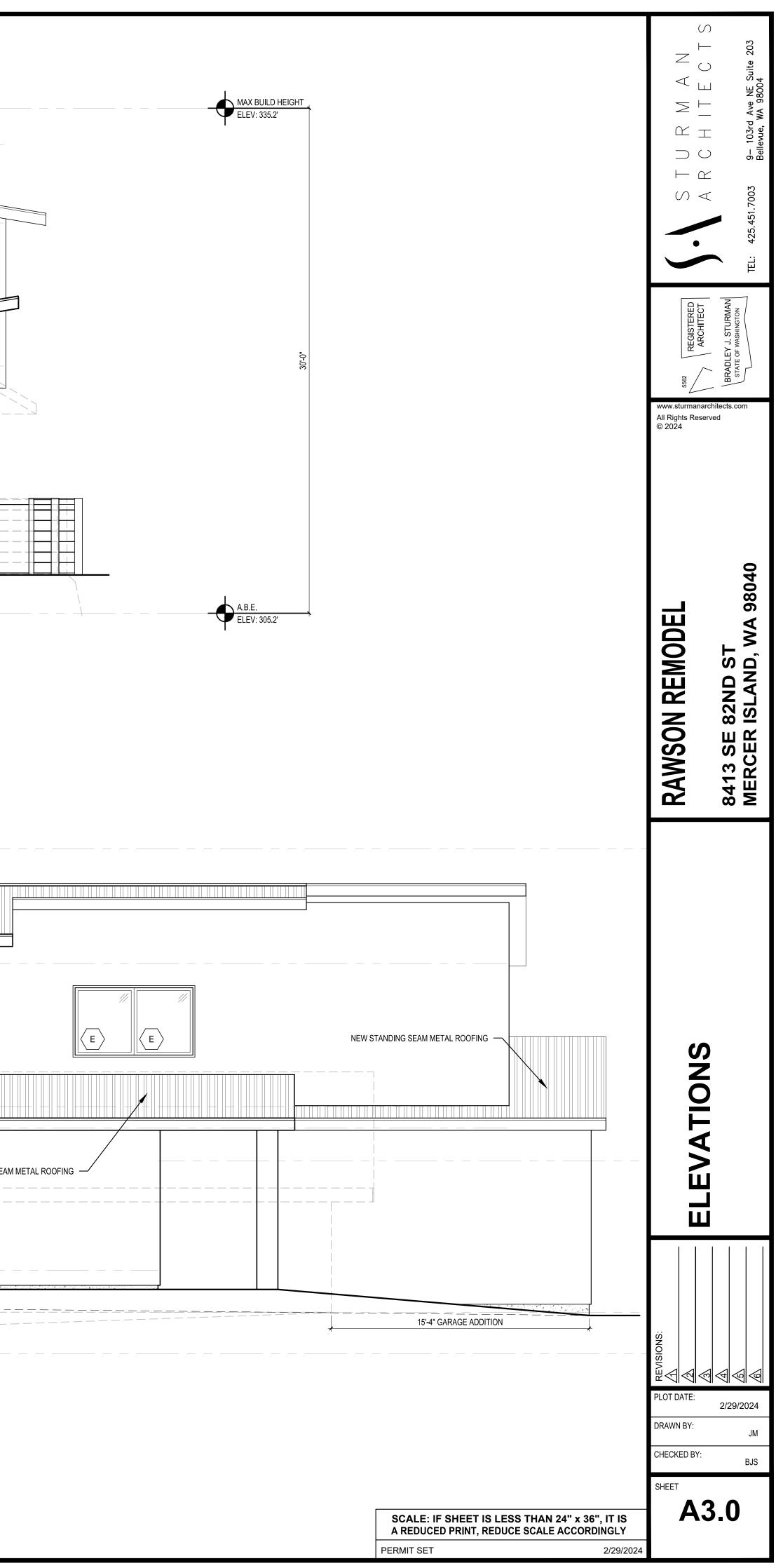
A IS 5,080.4 SF

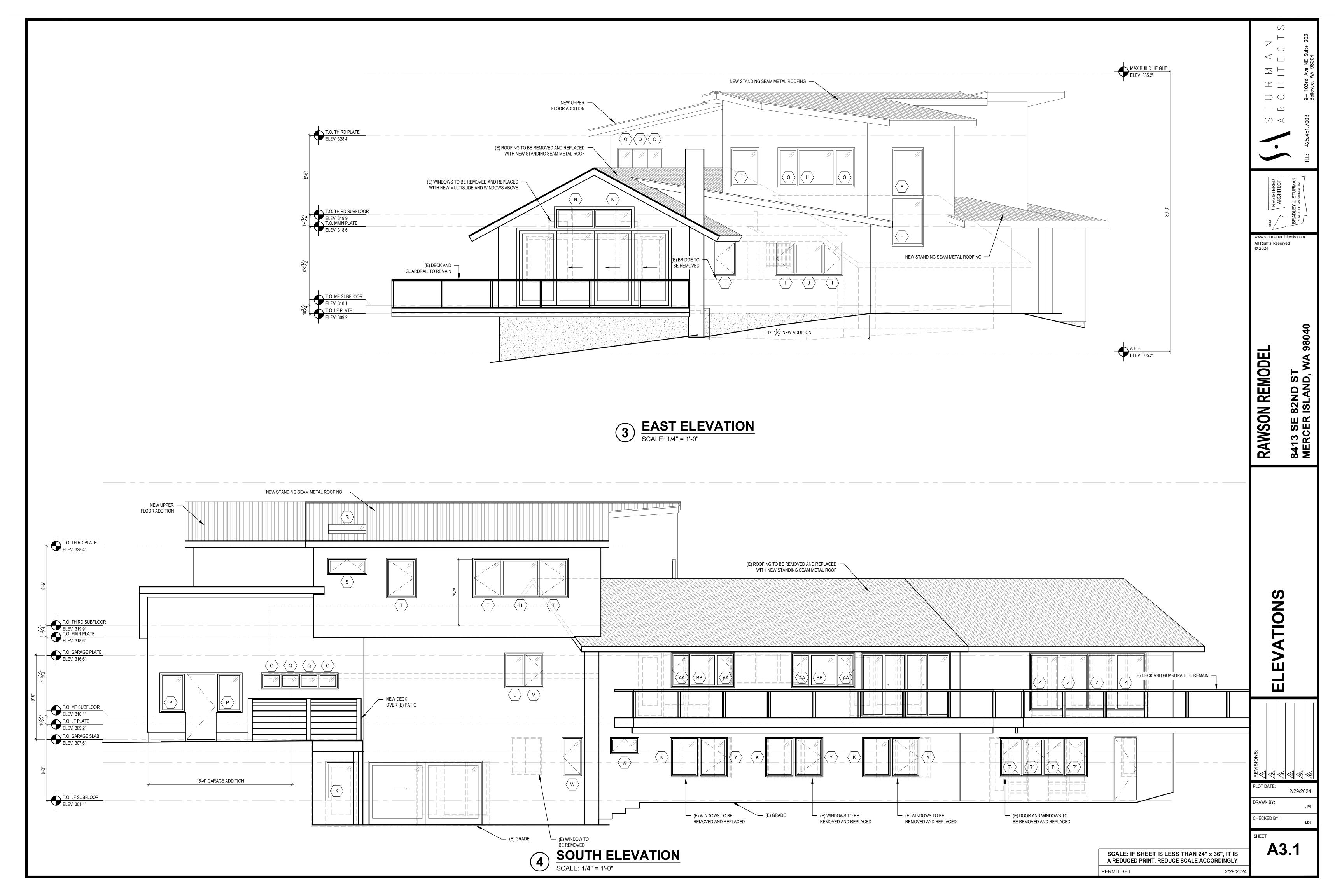


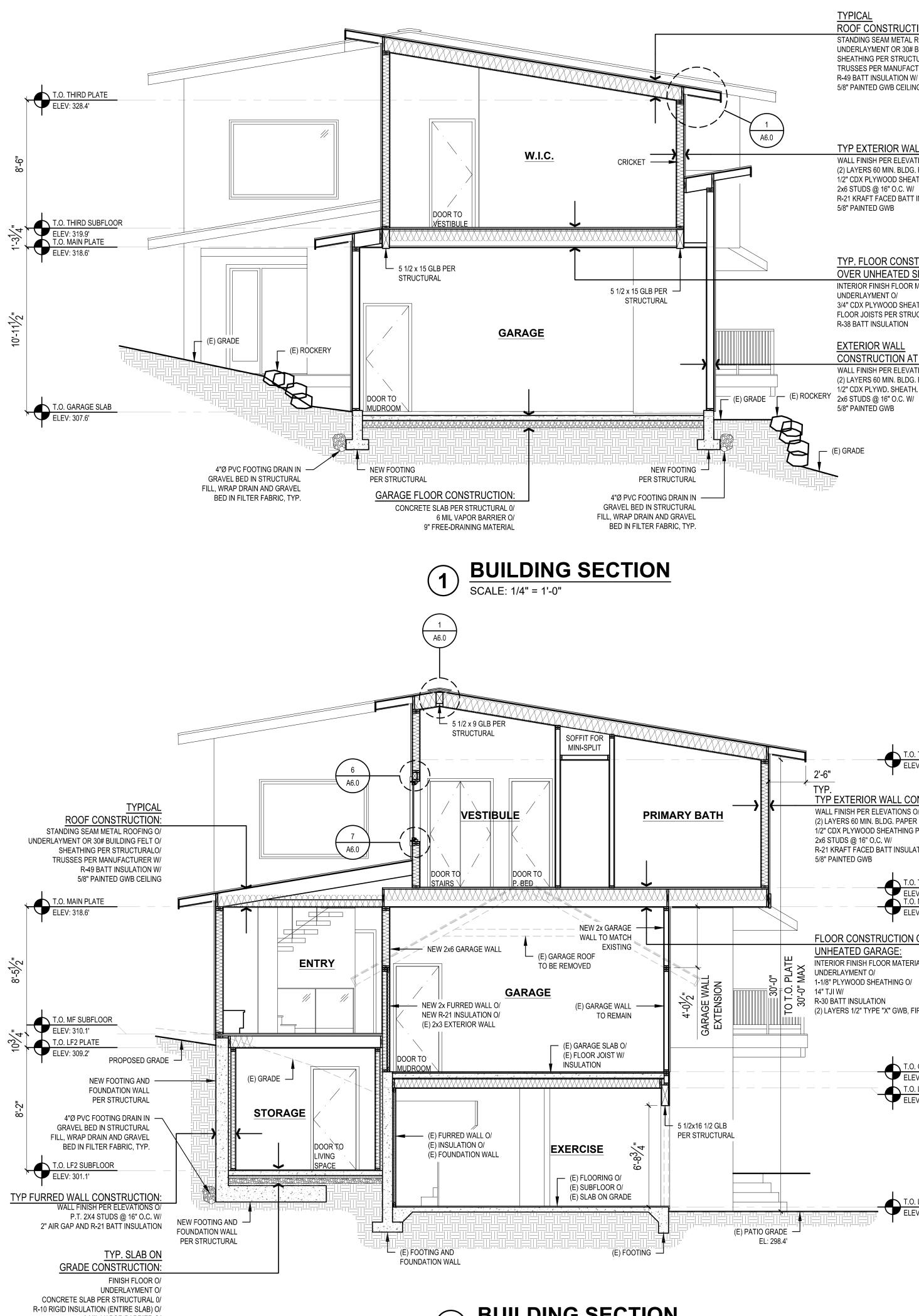


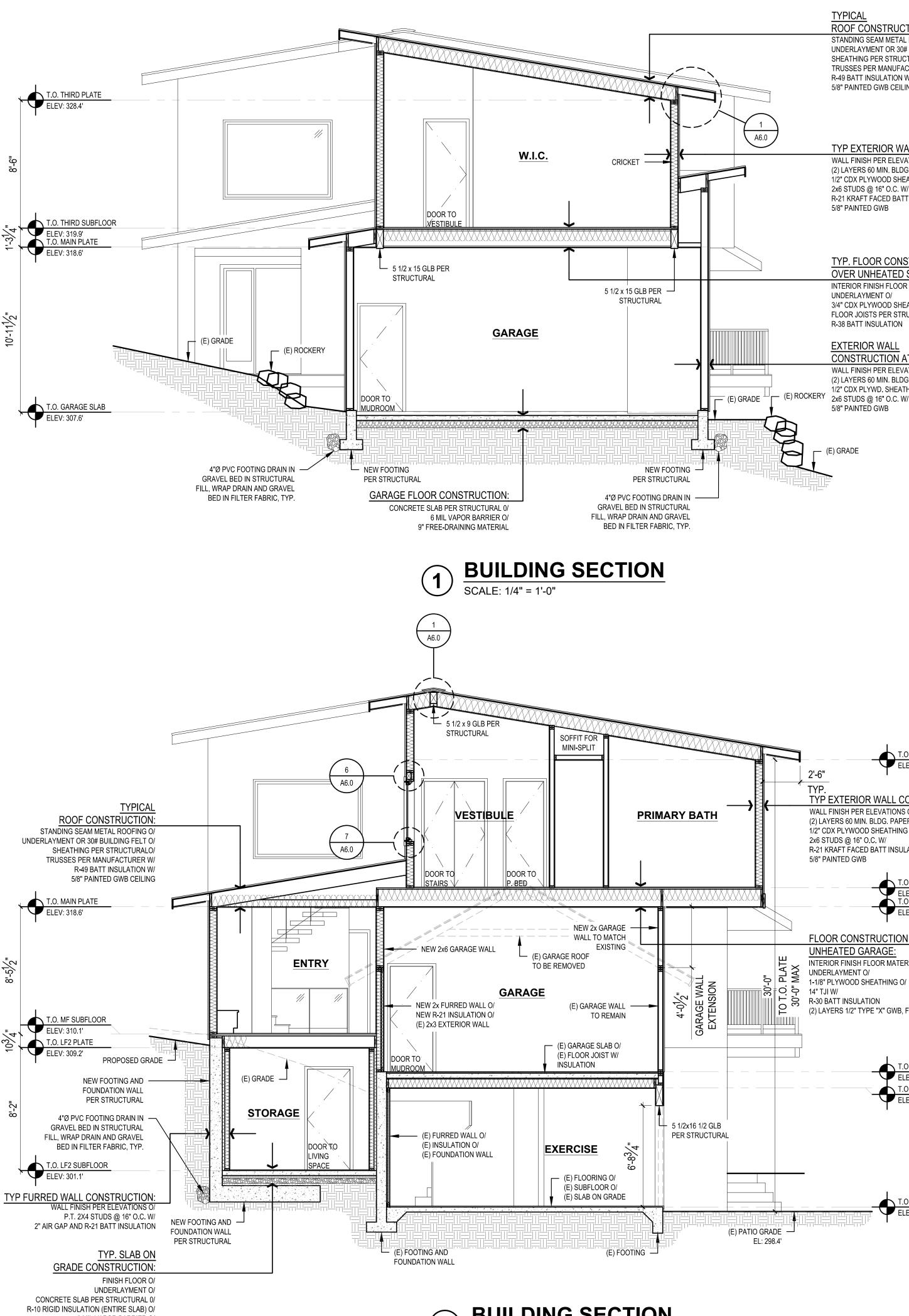








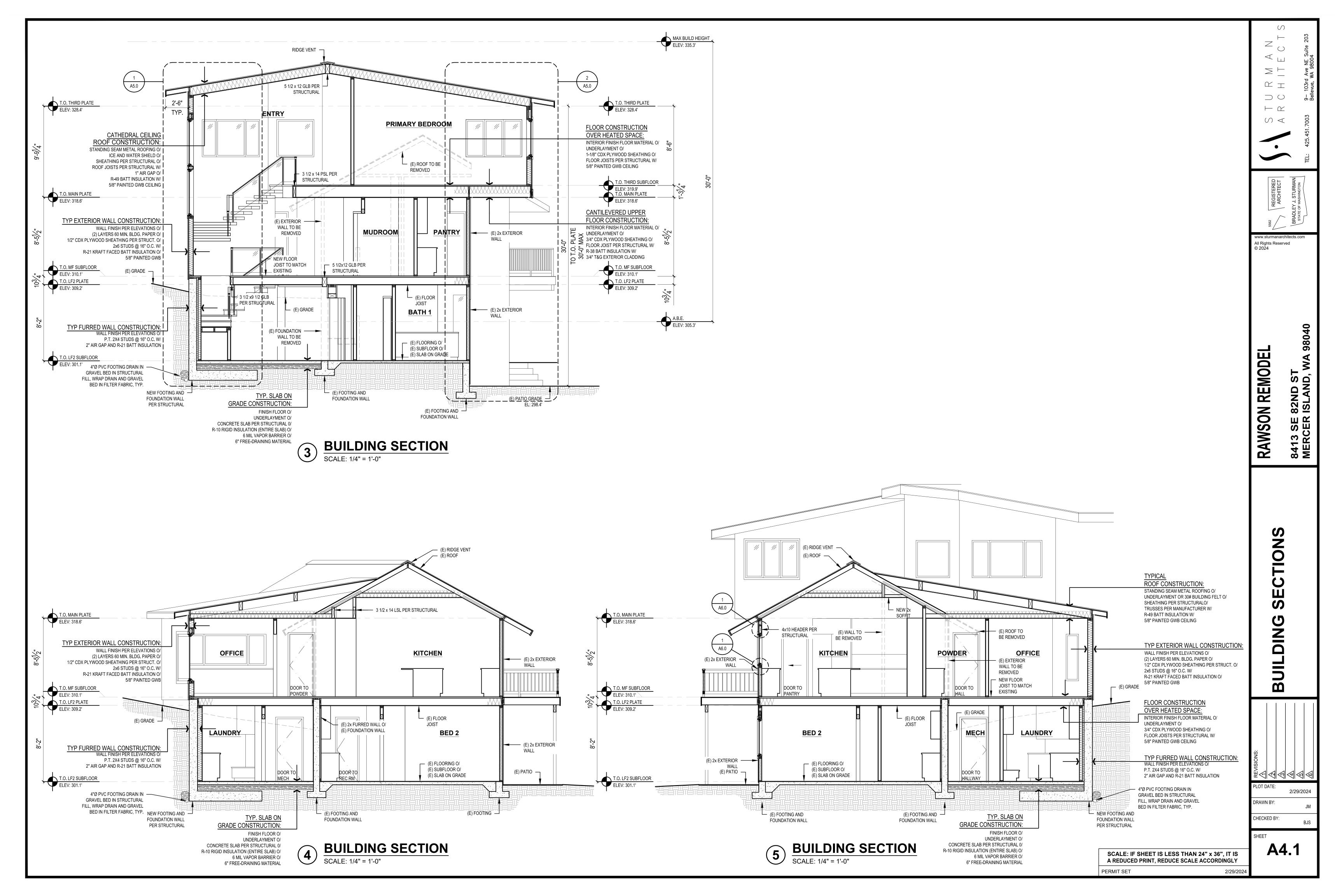


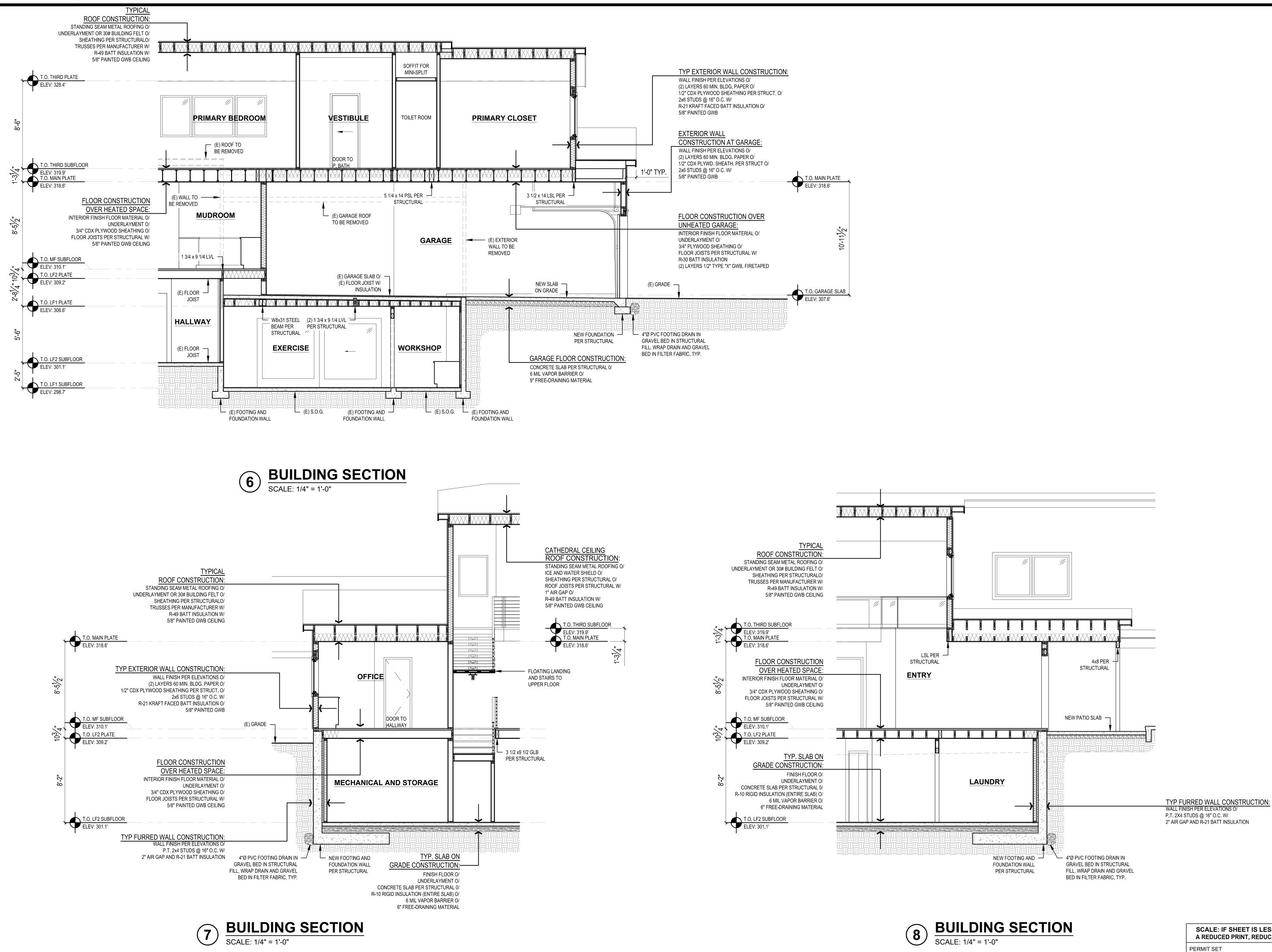


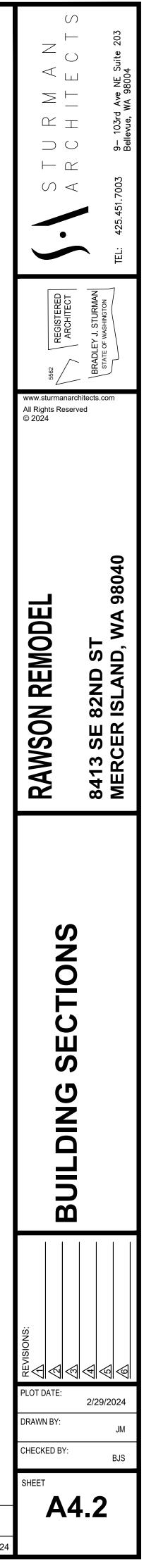
6 MIL VAPOR BARRIER O/ 6" FREE-DRAINING MATERIAL

BUILDING SECTION SCALE: 1/4" = 1'-0" 2

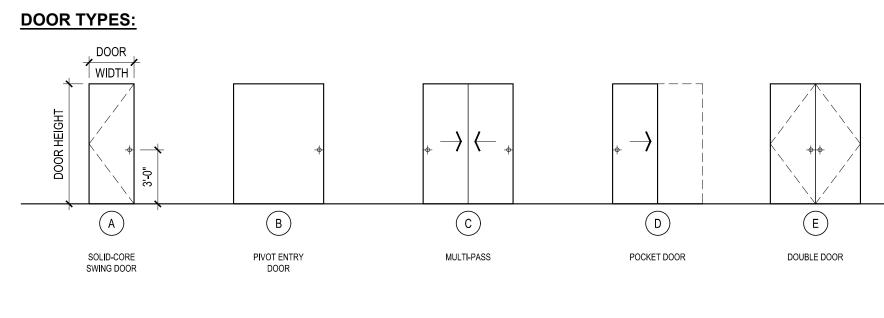
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# BUILDING FELT O/ CTURAL O/ CTURER W/		NE SU
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STRUCTION SPACE:		REGISTERED ARCHITECT EY J. STURMAN DF WASHINGTON
		62 REGISTERED ARCHITECT BRADLEY J. STURMAN STATE OF WASHINGTON
EATHING O/ RUCTURAL W/		5662 BRAC
		www.sturmanarchitects.com
AT GARAGE: ATIONS 0/		All Rights Reserved © 2024
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D. THIRD PLATE EV: 328.4'		
ONSTRUCTION:		
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LATION O/		<u> </u>
D. THIRD SUBFLOOR		CTIONS
EV: 319.9' D. MAIN PLATE EV: 318.6'		С Ш
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D. LF1 PLATE		
D. LF1 SUBFLOOR		REVISIONS: A A A A A A A A A A A A A
EV: 298.7'		
		PLOT DATE: 2/29/2024
		DRAWN BY: JM
		CHECKED BY: BJS
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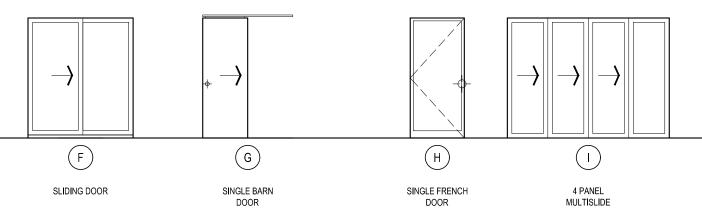






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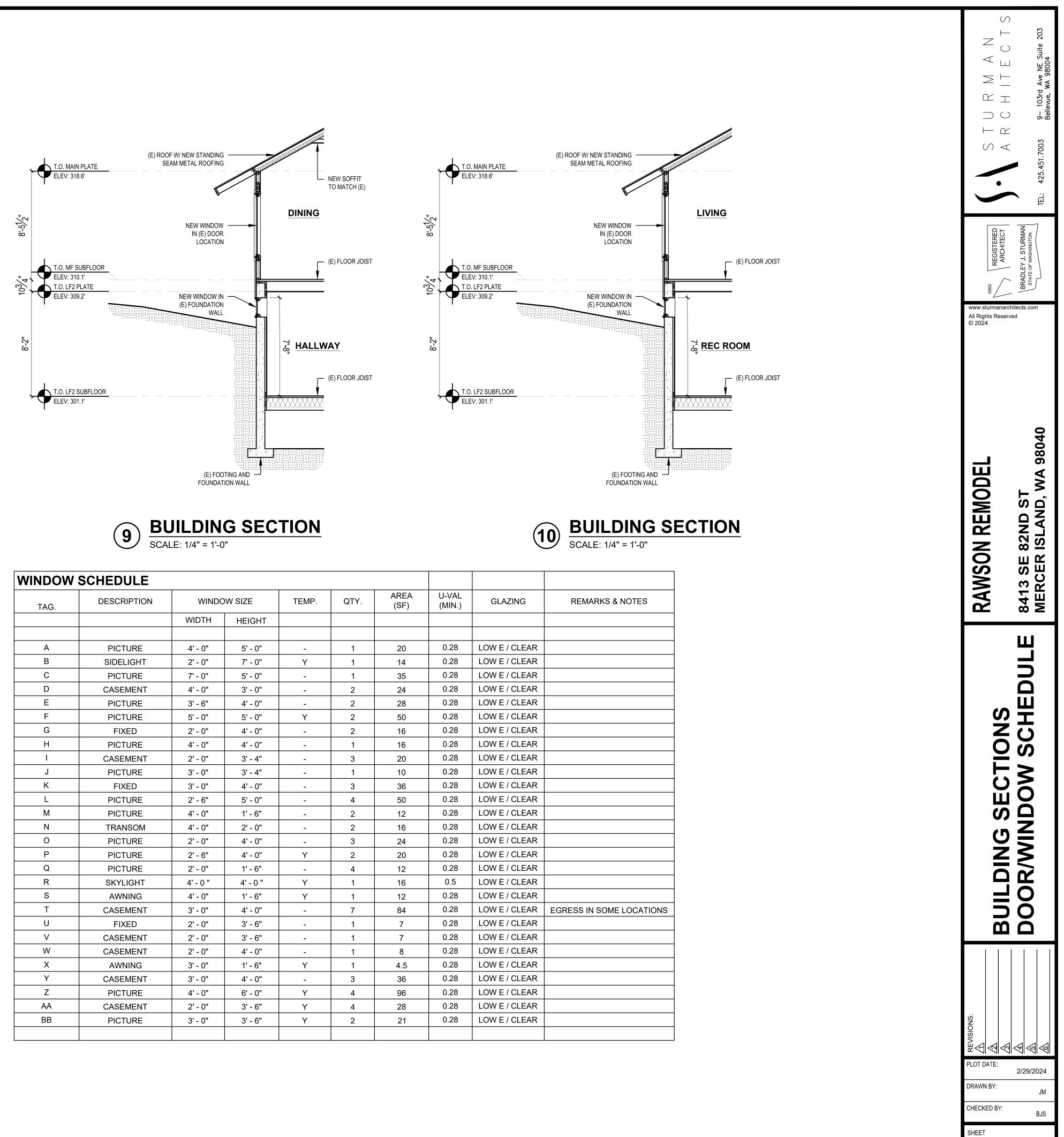




DOOF	R SCHEDULE							
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS
OWER F	LOOR							
001	BED 1	5' - 0"	6' - 8"	С	-	1-3/4"	-	
002	BED 2	5' - 0"	6' - 8"	С	-	1-3/4"	-	
103	BED 3	5' - 0"	6' - 8"	С	-	1-3/4"	-	
104	BATH 1	2' - 6"	6' - 8"	D	-	1-3/4"	-	
105	HALL CLOSET	2' - 6" PR	6' - 8"	E	-	1-3/4"	-	
106	EXERCISE	12' - 0"	6' - 8"	F	Y	1-3/4"	0.28	
107	EXERCISE	6' - 0"	6' - 8"	G	-	1-3/4"	-	
108	LAUNDRY	2' - 10"	6' - 8"	А	-	1-3/4"	-	
109	STAIR CLOSET	2' - 6"	6' - 8"	А	-	1-3/4"	-	
110	MECH AND STORAGE	2' - 10"	6' - 8"	А	-	1-3/4"	-	
111	BATH 2	10' - 0" PR	6' - 8"	С	-	1-3/4"	-	
112	BATH 2	2' - 10"	6' - 8"	Н	Y	1-3/4"	0.28	
MAIN FLO	DOR							
201	ENTRY DOOR	5' - 0"	7' - 0"	В	-	1-3/4"	-	
202	ENTRY CLOSET	2' - 0" PR	7' - 0"	E	-	1-3/4"	-	
203	OFFICE	2' - 6"	6' - 8"	A	-	1-3/4"	-	
204	POWDER	2' - 6"	6' - 8"	А	-	1-3/4"	-	
205	HALL CLOSET	2' - 0" PR	6' - 8"	E	-	1-3/4"	-	
206	LIVING ROOM	16' - 0"	8' - 0"	I	Y	1-3/4"	0.28	
207	DINING ROOM	8' - 6"	6' - 8"	F	Y	1-3/4"	0.28	
208	PANTRY	2' - 6"	6' - 8"	D	-	1-3/4"	-	
209	MUDROOM	2' - 10"	6' - 8"	А	-	1-3/4"	-	
210	MUDROOM	2' - 10"	6' - 8"	А	-	1-3/4"	-	20 MIN FIRE RATED DOOR
211	GARAGE	3' - 0"	7' - 0"	А	-	1-3/4"	-	
212	GARAGE	9' - 0"	8' - 0"	E	-	1-3/4"	-	
213	GARAGE	9' - 0"	8' - 0"	E	-	1-3/4"	-	
UPPER F	LOOR							
201	VESTIBULE	2' - 8"	7' - 0"	A	-	1-3/4"	-	
202	PRIMARY BEDROOM	2' - 8"	7' - 0"	А	-	1-3/4"	-	
203	PRIMARY BATH LINEN	2' - 6"	7' - 0"	А	-	1-3/4"	-	
204	PRIMARY BATH	2' - 6"	7' - 0"	G	-	1-3/4"	-	
205	TOILET ROOM	2' - 6"	7' - 0"	А	-	1-3/4"	-	
206	PRIMARY CLOSET	2' - 6"	7' - 0"	A	_	1-3/4"	_	

E

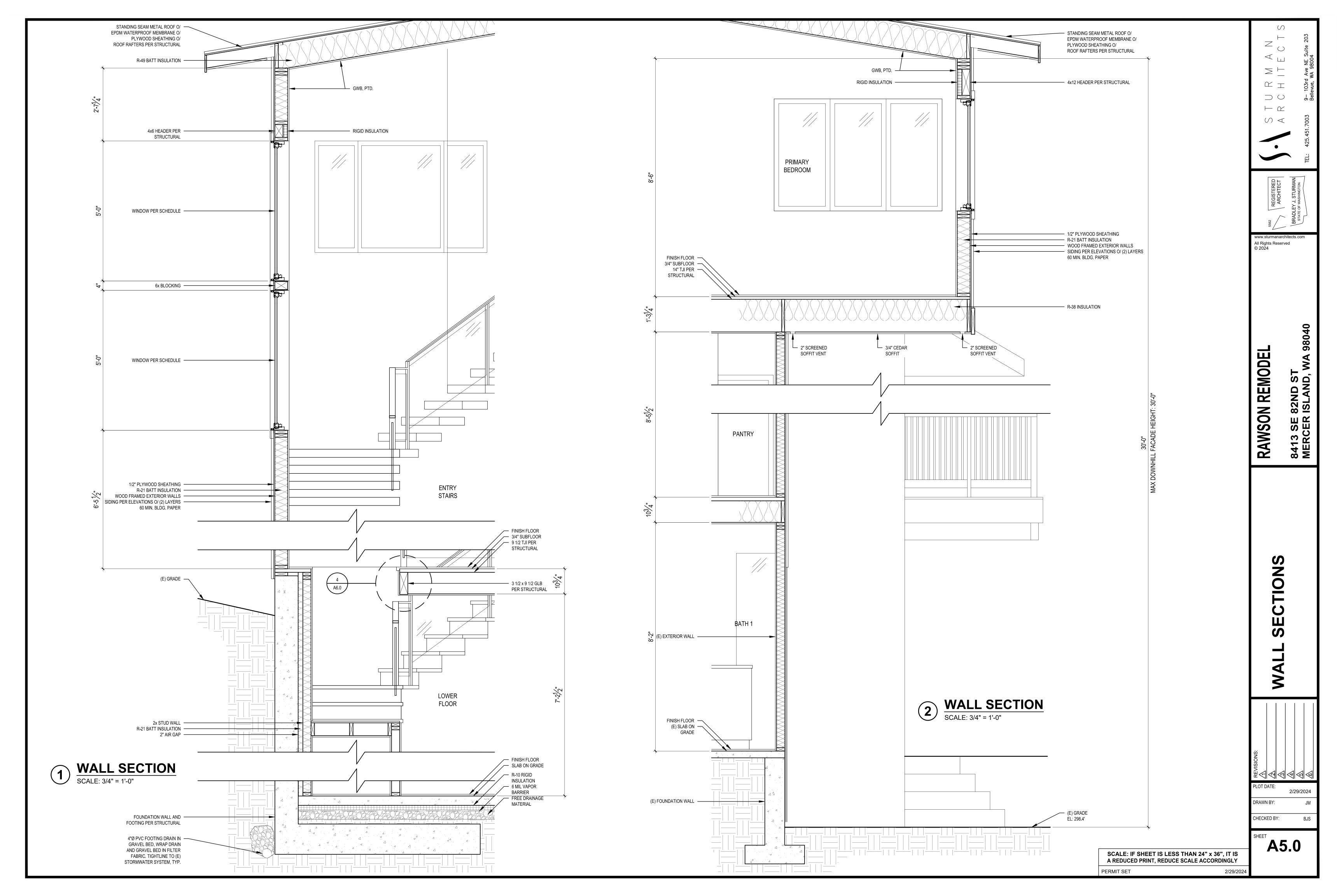
OVERHEAD GARAGE DOOR

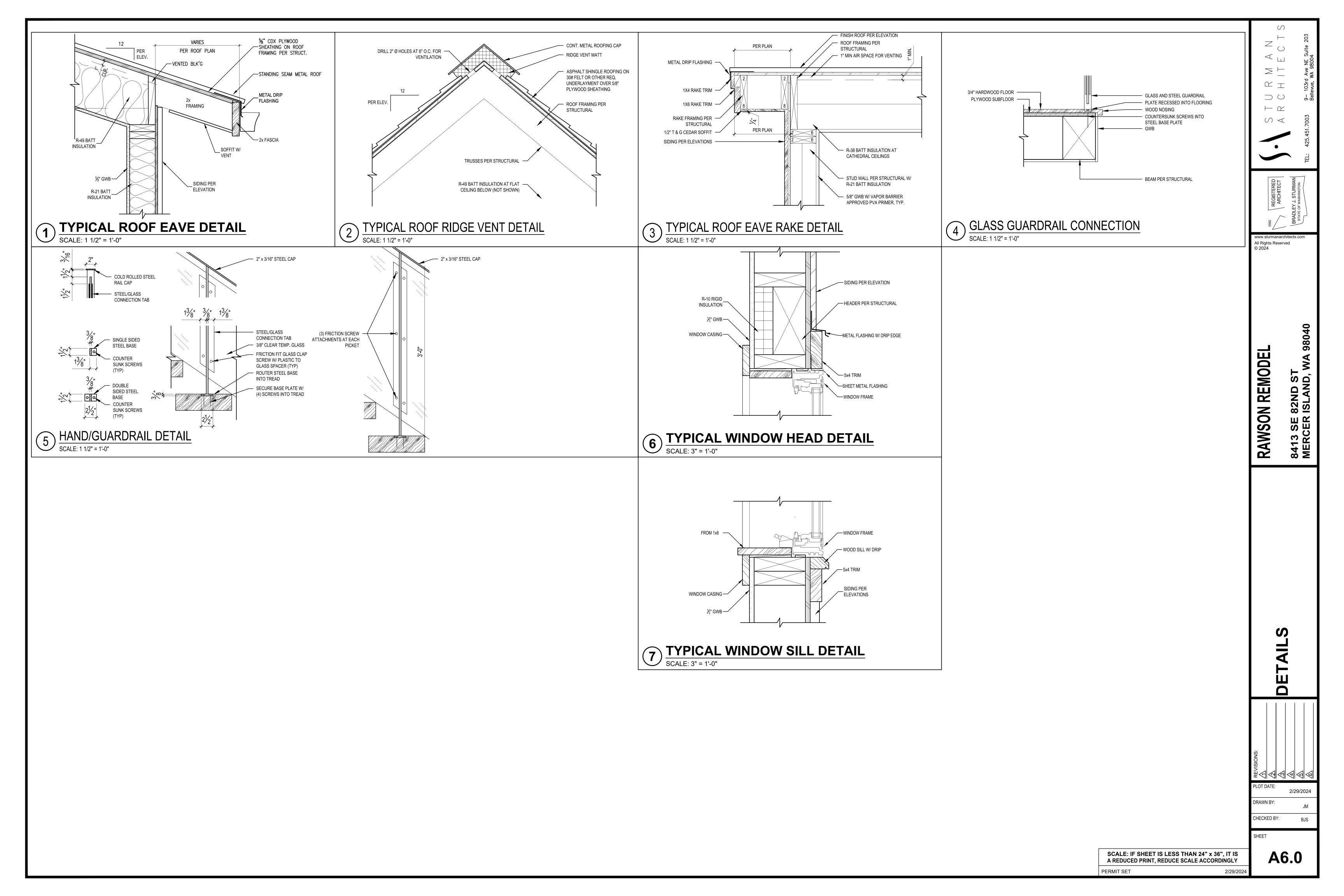


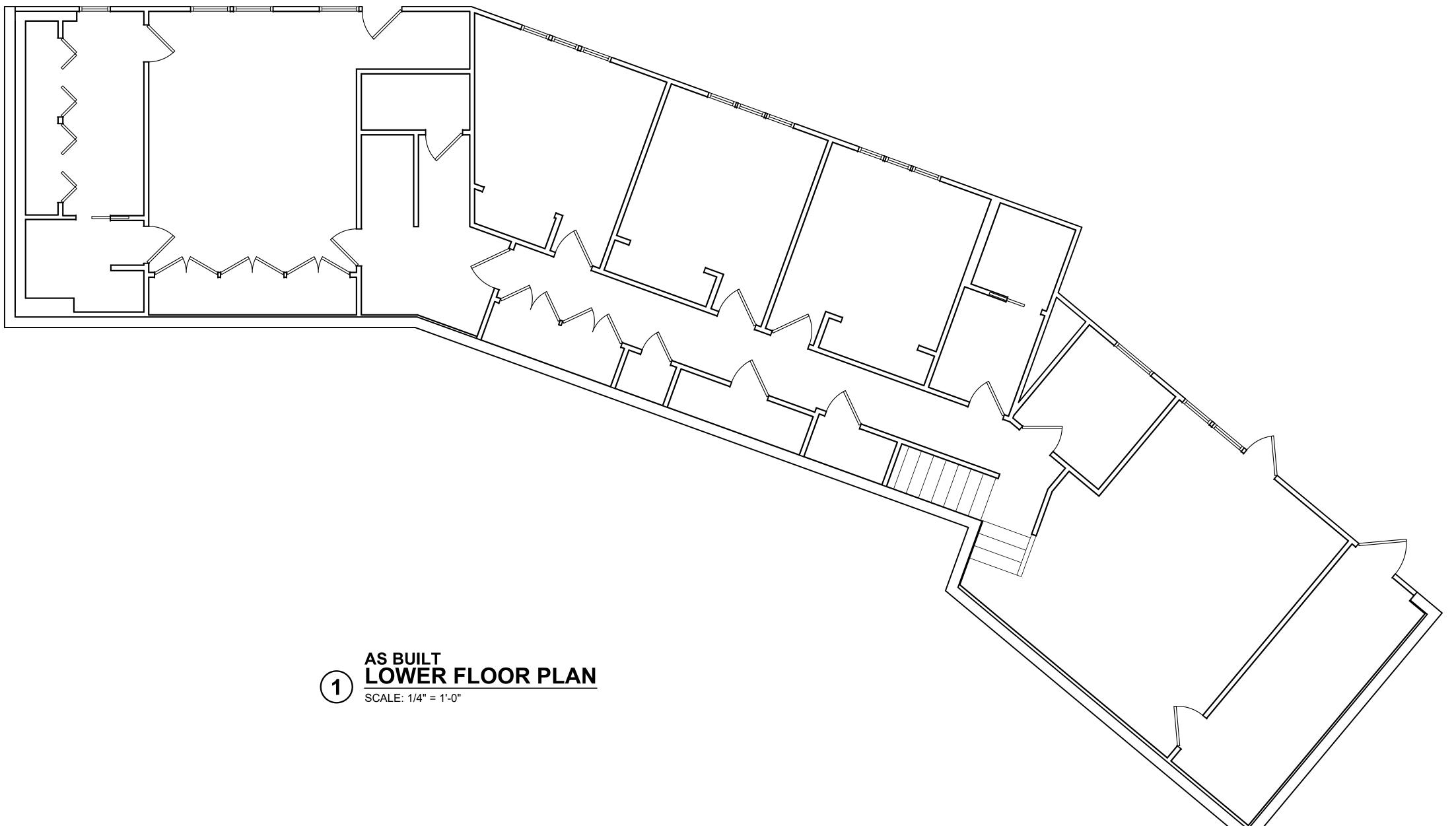


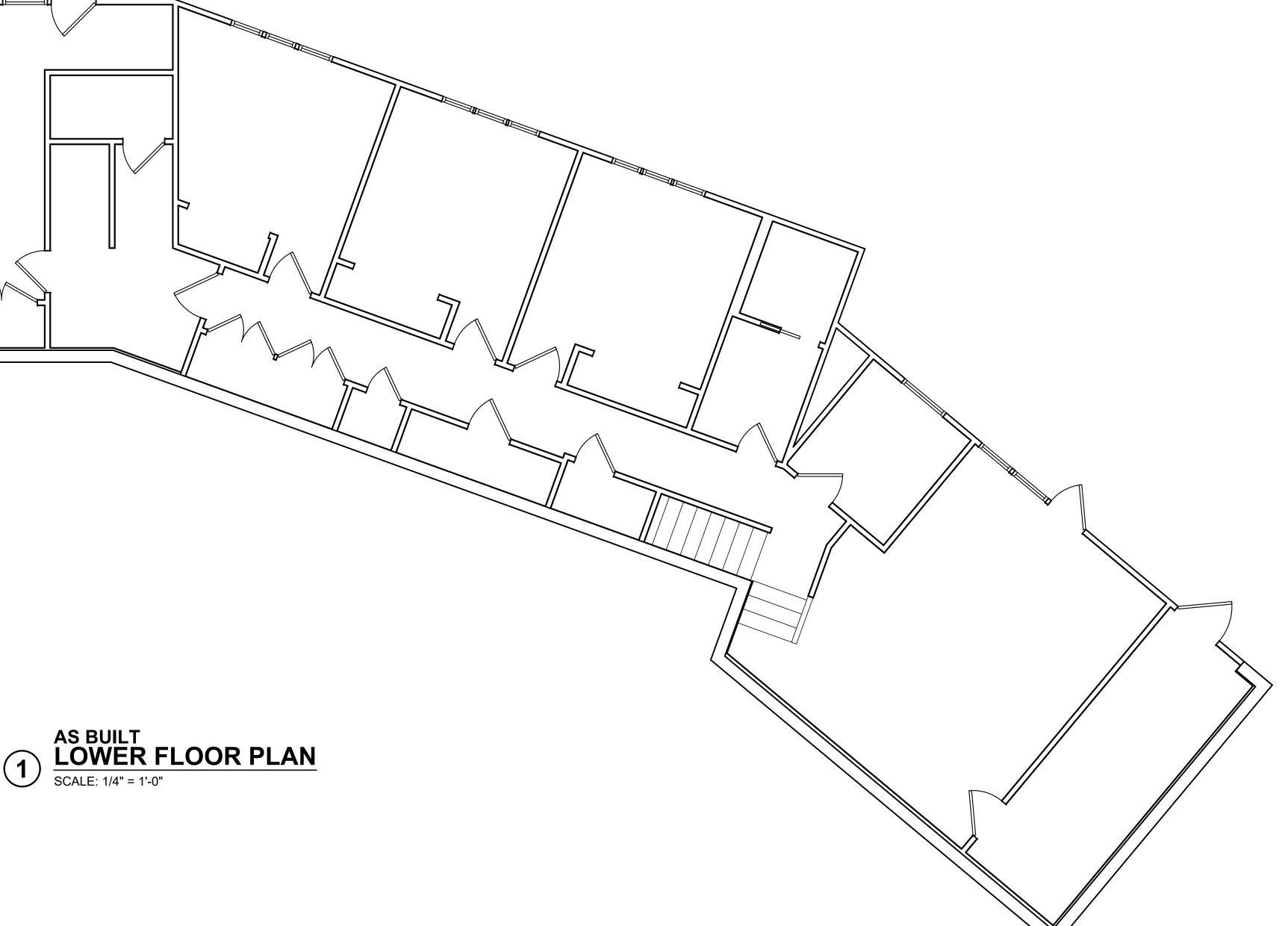
WINDOW								
TAG.	DESCRIPTION	WINDO	OW SIZE	TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING
		WIDTH	HEIGHT					
А	PICTURE	4' - 0"	5' - 0"	-	1	20	0.28	LOW E / CLEAF
В	SIDELIGHT	2' - 0"	7' - 0"	Y	1	14	0.28	LOW E / CLEAF
С	PICTURE	7' - 0"	5' - 0"	-	1	35	0.28	LOW E / CLEAF
D	CASEMENT	4' - 0"	3' - 0"	-	2	24	0.28	LOW E / CLEAF
E	PICTURE	3' - 6"	4' - 0"	-	2	28	0.28	LOW E / CLEAF
F	PICTURE	5' - 0"	5' - 0"	Y	2	50	0.28	LOW E / CLEAF
G	FIXED	2' - 0"	4' - 0"	-	2	16	0.28	LOW E / CLEAF
Н	PICTURE	4' - 0"	4' - 0"	-	1	16	0.28	LOW E / CLEAF
I	CASEMENT	2' - 0"	3' - 4"	-	3	20	0.28	LOW E / CLEAF
J	PICTURE	3' - 0"	3' - 4"	-	1	10	0.28	LOW E / CLEAF
K	FIXED	3' - 0"	4' - 0"	-	3	36	0.28	LOW E / CLEAF
L	PICTURE	2' - 6"	5' - 0"	-	4	50	0.28	LOW E / CLEAF
М	PICTURE	4' - 0"	1' - 6"	-	2	12	0.28	LOW E / CLEAF
Ν	TRANSOM	4' - 0"	2' - 0"	-	2	16	0.28	LOW E / CLEAF
0	PICTURE	2' - 0"	4' - 0"	-	3	24	0.28	LOW E / CLEAF
Р	PICTURE	2' - 6"	4' - 0"	Y	2	20	0.28	LOW E / CLEAF
Q	PICTURE	2' - 0"	1' - 6"	-	4	12	0.28	LOW E / CLEAF
R	SKYLIGHT	4' - 0 "	4' - 0 "	Y	1	16	0.5	LOW E / CLEAF
S	AWNING	4' - 0"	1' - 6"	Y	1	12	0.28	LOW E / CLEAF
Т	CASEMENT	3' - 0"	4' - 0"	-	7	84	0.28	LOW E / CLEAF
U	FIXED	2' - 0"	3' - 6"	-	1	7	0.28	LOW E / CLEAF
V	CASEMENT	2' - 0"	3' - 6"	-	1	7	0.28	LOW E / CLEAF
W	CASEMENT	2' - 0"	4' - 0"	-	1	8	0.28	LOW E / CLEAF
Х	AWNING	3' - 0"	1' - 6"	Y	1	4.5	0.28	LOW E / CLEAF
Y	CASEMENT	3' - 0"	4' - 0"	-	3	36	0.28	LOW E / CLEAF
Z	PICTURE	4' - 0"	6' - 0"	Y	4	96	0.28	LOW E / CLEAF
AA	CASEMENT	2' - 0"	3' - 6"	Y	4	28	0.28	LOW E / CLEAF
BB	PICTURE	3' - 0"	3' - 6"	Y	2	21	0.28	LOW E / CLEAF

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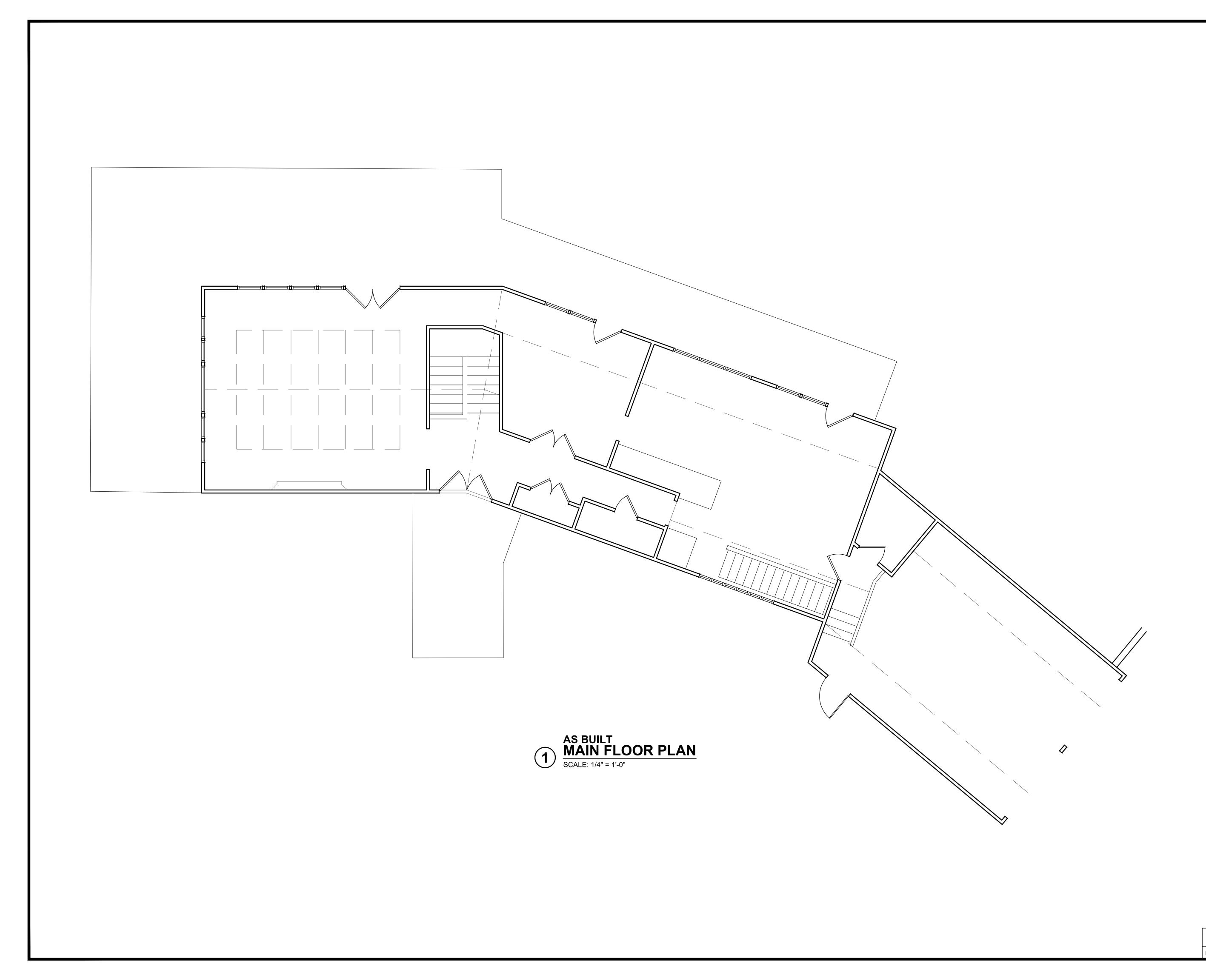






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		JM BJS		MERCER ISLAND, WA 98040	m	TEL: 425.451.7003 9– 1 Bellev	9– 103rd Ave NE Suite 203 Bellevue, WA 98004

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY PERMIT SET 2/29/2024



4							
SHEET	DRAWN BY: CHECKED BY:	REVISIONS:	AS-BUILT MAIN FLOOR PLAN	© 2024	WWW.sturmanaro All Rights Reserved © 2024	S T U	URMAN Chitficts
32	JM BJS	2/29/2024		8413 SE 82ND ST MERCER ISLAND, WA 98040		TEL: 425.451.7003 9- 1 Belle	Ave NE Suite 203 MA 98004

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PERMIT SET	2/29/20

General Requirements

All materials, workmanship, design and construction shall conform to the 2018 International Building Code (IBC) and local jurisdiction amendments.

Definitions: The following definitions are used throughout these structural notes: IBC - Governing code including local amendments SER - Structural Engineer of Record per these Contract Documents

UNO - Unless otherwise noted

Drawings indicate general and typical details of construction. Typical details and general notes shall apply even if not specifically denoted on plans, UNO. Where conditions are not specifically indicated similar details of construction shall be used, subject to review and approval by the Architect and the SER.

Reference to ASTM and other standards shall refer to the latest edition designated by IBC Chapter 35. Refer to the specifications for information in addition to that covered by these structural notes & drawings.

Warranty: The SER has used that degree of care and skill ordinarily exercised under similar circumstances by members of the profession in this locale and no other warranty, either expressed or implied, is made in connection with rendering professional services.

Design Criteria

BUILDING CATEGORY: Structural Occupancy Category II (Importance factors listed below)

LIVE LOADS: Roof snow load, Pf = 25 psf

Residential:	
Uninhabitable attics without storage	10 psf
Habitable attics and sleeping areas	30 psf
Residential floor	40 psf

LATERAL LOADS-WIND: Per ASCE 7-16, Section 27.5 Iw = 1.0; Kzt = 1.90; V = 78.3 kips

Numbering below is per IBC Section 1603.1.4:

1. Basic Wind Speed (3-second gust) = 110 mph

2. Importance Factor = 1.0

 Exposure = C 4. Internal pressure coefficient = +/-0.18

5. Components and Cladding: The following working loads may be used in lieu of calculations: (Uplift at roof) Zone 1,2e; 19.5 psf

100 sq. ft.	Zone 2n,2r,3e;	50.4 psf
	Zone 3r;	57.0 psf
(Roof overhangs)	Zone 1,2e;	72.0 psf
20 sq. ft.	Zone 2n,2r;	87.7 psf
	Zone 3e;	101.9 psf
	Zone 3r;	116.6 psf
(Walls)	Zone 4;	35.3 psf
20 sq. ft.	Zone 5;	42.5 psf

LATERAL LOADS-EARTHQUAKE: Per ASCE 7-16, Chapter 11 & IBC 1613

Numbering below is per IBC Section 1603.1.5:

- 1. Importance Factor = 1.0
- 2. Mapped Spectral Response Accelerations, Ss = 1.466 g; S1 = 0.505 g
- 3. Site Class = D; Fa = 1.200, Fv = 1.795 4. Spectral Response Coefficients, Sds = 1.173 g, Sd1 = 0.6040 g
- 5. Seismic Design Category = D
- 6. Basic Seismic Force Resisting System is:
- Vertical Elements = Wood Structural Panel Shear Walls
- Diaphragms = Wood Structural Panel Diaphragms Design Base Shear = 21.6 kips
- 8. Seismic Response Coefficient Cs = 0.180
- 9. Response Modification Factor R = 6.5
- 10. Analysis Procedure = Equivalent Lateral Force Procedure

Additional Items:

Building Location 47.529 N, 122.227 W Building Height = 27 feet Redundancy Factors: North/South Direction = 1.0 East/West Direction = 1.0

Contractor Execution Requirements

Contractor shall verify all dimensions and all conditions at the job site, including building and site conditions before commencing work, and be responsible for same. All discrepancies shall be reported to the Architect/SER before proceeding with work. Any errors, ambiguities and/or omissions in the contract documents shall be reported to the Architect/SER immediately, in writing. No work is to be started before correction is made.

Contractor shall coordinate all dimensioned openings and slab edges shown on the contract documents. Some dimensions, openings and embedded items are shown on the structural drawings, others may be required. Refer to architectural drawings for all dimensions, wall and floor openings, architectural treatment, embeds required for architectural items, etc. Refer to mechanical, plumbing, electrical, fire protection and civil drawings for size and location of all openings for ducts, piping, conduits, etc.

Do not scale drawings. Use only field verified dimensions. When electronic plan files are provided for the contractor's detailing convenience, it shall be noted that the electronic files are not guaranteed to be dimensionally accurate; the contractor uses them at their own risk. The published paper documents are the controlling Contract Documents. Electronic files of detail sheets and notes will not be provided.

Contract Documents and any materials used in preparation of them, including calculations, are the exclusive property of the SER and can be reproduced only with the permission of the SER.

Contractor initiated changes shall be submitted in writing to the Architect/SER for review and acceptance prior to fabrication/construction. Changes shown on shop drawings only will not satisfy this requirement.

The contractor shall provide temporary bracing as required until all permanent connections have been installed. The contractor is responsible for the strength and stability of all partially completed structures including but not limited to concrete or masonry walls, steel framing and erection aids. The contractor shall be responsible for all required safety standards, safety precautions and the methods, techniques, sequences or procedures required in performing his work. The contractor shall coordinate with the building department for all building department required inspections.

Shop Drawing & Submittal Review

The contractor shall review and stamp the shop drawings & submittals for review. SER will only review submittals for items shown on SER documents. Submittals for Deferred Structural Components will receive cursory review by SER for loads imposed on primary structure. SER will review shop drawings for general conformance with design concept of the project and general compliance with the information given in the Structural Contract Documents. Review of submittals does not constitute approval or acceptance of unauthorized deviation from Contract Documents.

GENERAL STRUCTURAL NOTES (TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS)

Shop Drawing & Submittal Review (including Deferred Structural Components)

The contractor shall review and stamp the shop drawings & submittals for review. SER will only review submittals for items shown on SER documents. Submittals for Deferred Structural Components will receive cursory review by SER for loads imposed on primary structure. SER will review shop drawings for general conformance with design concept of the project and general compliance with the information given in the Structural Contract Documents. Review of submittals does not constitute approval or acceptance of unauthorized deviation from Contract Documents.

Corrections or comments made on shop drawings during this review do not relieve contractor from compliance with the requirements of the plans and specifications.

Contractor responsible for:

* Reviewing, approving, stamping and signing submittals prior to submittal to Architect and SER * Timing submittals to allow 10 days of review time for the SER and time for corrections and

- resubmittal * Conformance to requirements of the Contract Documents
- Dimensions and quantities
- * Verifying information to be confirmed or coordinated
- * Coordination of all trades

Resubmittals shall be clouded and dated for all changes to the submittal. Only clouded portions of resubmittal will be reviewed and SER's review stamp applies to only these areas.

Substitutions

items. The SER's basic services contract does not include review of substitutions that require Reviews and approvals shall not be made until authorization is received.

Shop drawings and material submittals shall be submitted to the Architect and SER prior to any fabrication or construction for the following structural items. Submittals shall include one reproducible and one copy; reproducible will be marked and returned. If deviations, discrepancies, or conflicts between shop drawings submittals and the contract documents are discovered either prior to or after shop drawing submittals are processed by the SER, the Contract Documents control and shall be followed.

- * Structural steel shop and erection drawings
- * I-joist and engineered wood beam floor framing layout & materials list
- * Glued laminated members (certificates to be on-site and available upon request)

special inspection and structural observation mentioned subsequently.

Special Inspections

The owner shall retain a Special Inspector to perform the special inspection requirements required by the building official as outlined in IBC Section 1704. See the specifications for additional requirements for special inspection and testing. The architect, structural engineer, and building department shall be furnished with copies of all inspection reports and test results.

The following inspections are required and shall be performed per the building code: * Steel construction per 1705.2 and AISC 360 * Epoxy installed anchor bolts and holdowns rods: Continuous per Table 1703.3 - #4

Structural Observation

Structural observation is defined as the visual observation of the structural system for general conformance to the Contract Documents at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspection required by Section 109 or other sections of the IBC.

The owner shall employ a registered design professional to perform structural observation when required by IBC 1709. Observed deficiencies shall be reported in writing to the Architect, special inspector, and contractor. The contractor shall respond to these items in writing indicating how they have been resolved. At the end of the project, the structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.

Construction observation by the SER is for general conformance with structural portions of the permit documents only and is not intended in any way to review the Contractor's construction procedures. The SER has no overall supervisory authority or actual/direct responsibility for the specific working conditions at the site and for any hazards resulting from the action of any trade contractor. The SER has no duty to inspect, supervise, note, correct, or report any health or safety deficiencies to the owner, contractors, or other entities or persons at the project site.

The contractor shall provide the SER adequate notice to schedule appropriate site visits for structural observation.

Geotechnical

General Criteria

structural engineer for possible foundation redesign.

All prepared soil-bearing surfaces shall be inspected by the owners Geotechnical Inspector (or building official) prior to placement of reinforcing steel and concrete. Inspections shall be made per IBC Table 1704.7.

Unless otherwise noted, footings shall be centered below columns or walls.

Bearing Values

Allowable soil pressure = 2,000 psf

Subgrade Preparation

Prepare subgrade as follows: All footings shall be cast on undisturbed firm natural soils that are free of organic materials. Footing excavation shall be free of loose soils, sloughs, debris and free of water at all times. If organic silt and/or fill material is encountered at subgrade elevations, over-excavate a minimum of 2'-0" below the design foundation subgrade elevation prior to placing footings. The over-excavated areas shall be backfilled with structural fill compacted to 95% proctor per ASTM D-1557 or a lean concrete mix.

Drainage

Drainage systems, including foundation, roof and surface drains, shall be installed as directed by the Geotechnical Report and IBC Section 1807. Vapor retarder placed below slab on grade shall conform to ASTM E 1643 and ASTM E 745.

* Information solely for fabrication, safety, means, methods, techniques and sequences of construction

Substitutions shall be submitted in writing prior to submittal of shop drawings. Shop drawings bearing substitutions will be rejected. Submit engineering data to substantiate the equivalence of the proposed re-engineering of the item or adjacent structure. Nor does the SER's contract cover excessive review of proposed substitutions. The fees for making these reviews and/or redesign shall be paid by the contractor.

* Engineered wood beams (certificates to be on-site and available upon request)

The building official, upon notification, shall make structural inspections as required by local ordinance. The inspection by the building official per IBC Section 109 will be separate from and in addition to the

Allowable soil pressure and lateral earth pressure are assumed and therefore must be verified by a Geotechnical Inspector or the building official. If soils are found to be other than assumed, notify the

All footings shall bear on undisturbed soil and shall be lowered to firm bearing if suitable soil is not found at elevations shown. Exterior footings shall bear a minimum of 12" below the finished ground surface. Footing elevations shown on plans (or in details) are minimum depths and for guidance only; the actual elevations of footings must be established by the contractor in the field working with the Geotechnical Inspector.

Retaining Walls

Grade on either side of concrete walls shall not vary by more than 12", UNO. Slope of backfill shall not exceed 2H to 1V, UNO. Backfill behind all retaining walls with free draining, granular fill. Provide for subsurface drainage. Design pressures used for the design of retaining walls are based on drained conditions.

Active earth pressure (restrained/unrestrained) = 55/35 pcf Passive earth pressure (factor of safety of 1.5 included) = 300 pcf Coefficient of friction (factor of safety of 1.5 included) = 0.35

Provide temporary shoring for tops of walls if backfill is placed prior to the supporting structure being constructed. Supporting structure is the floor framing and sheathing completely installed and attached to perpendicular walls.

Existing Utilities

The contractor shall determine the location of all adjacent underground utilities prior to any excavation, shoring, pile driving, or pier drilling. Any utility information shown on the plans and details are approximate and not verified by the SER. Contractor is to provide protection of any utilities or underground structures during construction.

Concrete

Cast-in-Place Concrete Concrete materials shall conform to the following:

- Portland cement: Type 1, ASTM C150
- Fly ash (if used): ASTM C618 class F or C, quantity less than (by weight) 25% of cement content, and maximum loss on ignition = 1%
- Lightweight aggregates: shall not be used without prior approval of SER and building department Normal weight aggregates: ASTM C33
- Sand equivalent: ASTM C33
- Water: Potable per ASTM C94
- Air entraining admixtures: ASTM C260 Chemical admixtures: ASTM C494
- Flowable concrete admixtures: ASTM C1017

Durability requirements of concrete mixes shall conform to building code. These requirements include water-cementitious material ratios, minimum compressive strengths, air entrainment, type of cement, and maximum chloride ion content.

Concrete strength requirements: Strength at 28 days and normal weight concrete, UNO.

<u>Location</u> Lean mix soil replacement under fdns Foundations, grade beams, stem walls Slab on grade, topping slab, stair tread	Strength <u>f'c (psi)</u> 1,500 3,000** 3,000**	Max. Aggr. <u>size (inch)</u> sand 1" 3/4"	Max. W/C ratio or min cement * 1-1/2 sack cement per design 0.42 (.45)	
---	---	--	--	--

** Design strength shown is for weathering purposes only; 2,500 psi strength was used for purposes of structural design. Mixes shall be proportioned to accommodate placement. Slump, W/C ratio, admixtures and aggregate size will be determined by the contractor in accordance with ACI. Mixes will be approved by one of the following criteria.

Mix design is submitted in accordance with ACI 318 Section 5.3. Mix design is submitted in accordance with ACI 318 Section 5.4.

Admixtures: all concrete, including slab on ground, shall contain an acceptable water-reducing admixture conforming to ASTM C494 and be used in strict accordance with the manufacturer's recommendations.

All concrete which is exposed to freezing/thawing in a moist condition or exposed to deicing chemicals shall contain an air entraining agent, conforming to ASTM C260. The amount of entrained air shall be 5% +/-1% by volume. Air % is based on 3/4" coarse aggregate; adjust % per ACI 318 for other coarse aggregate sizes. Air-entrainment shall not be used at slabs that will receive a smooth, dense, troweled finish.

Trucks hauling plant-mixed concrete shall arrive on-site with a field ticket indicating the maximum gallons of water that can be added at the site not to exceed the total water content in the approved mix design.

Concrete shall be deposited as nearly as practicable in its final position to avoid segregation due to rehandling or flowing. Concrete shall be thoroughly consolidated by suitable means during placement and shall be thoroughly worked around reinforcement, embedded items, and into corners of forms.

Formwork and Accessories

Concrete construction shall conform to ACI 301 "Specifications for Structural Concrete" and the Building Code, including testing procedures. See specifications and/or architectural documents for formwork requirements. Installation shall adhere to ACI 301. Conduits and pipes of aluminum shall not be embedded in concrete construction.

See architectural drawings for exact locations and dimensions of door and window openings in all concrete walls and for all grooves, notches, chamfers, feature strips, color, texture, and other finish details at all exposed concrete surfaces. Concrete accessories and embedded items shall be coordinated with Architectural and all other Contract Documents and suppliers' drawings before placing concrete. Anchor rods, reinforcing, hardware, etc. shall be firmly tied in place prior to concrete placement; wet-setting of these items are not permitted in concrete.

Refer to Architectural documents for waterstops, dampproofing & soil retaining wall drainage requirements at concrete and concrete joints (construction joints, slab to wall joints, curb to slab joints, etc).

Curing and Finishes

Protect and cure freshly placed concrete per ACI 305 in hot conditions, ACI 306 in cold conditions, and ACI 308 "standard specification for curing concrete". All exposed edges and corners shall have 3/4" chamfer, UNO. Concrete flatwork shall be sloped to provide positive drainage. Coordinate finish with architectural contract documents.

At the time of application of finish materials or special treatment to concrete, moisture content of concrete shall conform to requirements in finish material specifications. Where vapor sensitive coverings are to be placed on slabs on grade, conform strictly to slab covering manufacturer's recommendations regarding vapor retarder and granular fill requirements below the slab.

Reinforcing in Cast-in-Place Walls

See Reinforcement General Notes for more information. Uppermost and lowermost horizontal reinforcing in walls shall be placed within 1/2 of specified spacing from the top and bottom of the wall.

<u>Concrete wall reinforcing</u> - typical UNO:

Wall thickness	horizontal bars	vertical bars	location
8" or less	#4 @ 12"oc	#4 @ 12"oc	@ cl of wall

Concrete protection; provide edge cover as follows. When a thickness of cover required for fire protection is greater than that specified in this section, such greater thickness shall be used:

- Unformed surfaces cast against and permanently exposed to earth = 3"
- Formed surfaces exposed to earth or weather: #6 bars or larger = 2"; #5 bars or smaller = 1-1/2" • Clear spacing between 2 or more parallel layers = 1"

Concrete Crack Maintenance

Cracking occurs in concrete structures due to inherent shrinkage, creep, and the restraining effects of walls and other structural elements. Most cracking due to shrinkage and creep will likely occur over the first two years of the life of the structure; further concrete movement due to variations in temperature may persist. Cracks that result in water penetration will need to be repaired to protect reinforcing. Other cracking may be repaired at the owner's discretion for aesthetical reasons or performance of applied finishes. Prior to repairing cracks, a structural engineer should be consulted to provide direction on which cracks to repair and on whether observed cracks may affect the strength of the structure.

Reinforcement in Concrete

<u>Materials</u>

Welding or tack welding of reinforcing bars to other bars or to plates, angles, etc, is prohibited, except where specifically approved by the SER.

Anchorage

Post installed anchors shall not be installed without prior approval of engineer of record unless otherwise noted on the plans.

Epoxy-Grouted Items Epoxy-Grouted Items (threaded rods or reinforcing bar) specified on the drawings shall be installed using "SET-XP" high strength epoxy as manufactured by the Simpson Strong Tie Company. Install in strict accordance with I.C.C. Report No. ESR 2508. Special inspection of installation is required. Rods shall be ASTM A-307 unless otherwise noted.

Expansion Bolts Expansion bolts into concrete and concrete masonry units shall be "Strong Bolt" as manufactured by the Simpson Strong Tie Company, installed in strict accordance with I.C.C. Report No. ESR-1771, including minimum embedment requirements. Bolts into concrete masonry or brick masonry units shall be into fully grouted cells. Substitutes proposed by contractor shall be submitted for review with ICC reports indicating equivalent or greater load capacities. Special inspection is required for all expansion bolt installation.

Structural Steel

Reference Standards Steel construction shall conform to the latest editions of the AISC Specifications and Codes. "Specification for Structural Steel Buildings" ANSI/AISC 360 (latest edition), "Specification for Structural Joints Using ASTM A-325 or A-490 Bolts" AISC 348 (latest edition) and "Code of Standard Practice for Steel Buildings and Bridges" AISC 303 (latest edition) amended by the deletion of paragraph 4.4.1.

Fabricators for structural steel must have a quality assurance program in place. The quality assurance program must meet the requirements of one of the following methods:

B. Meeting the requirements of AISC seismic provisions for structural steel buildings, appendix Q and submitting plan documentation to the authority having jurisdiction, the engineer of record, and the owner or owner's designee.

Structural Steel Members Structural Steel shall conform to the following requirements (unless otherwise shown on plans):

Type of Mem Rolled Wide Plates, Chan Square & Re Anchor Rods Threaded Ro Washers Hex Nuts Common Bolt

Steel Framing

Shop drawings shall show all welding with AWS D1.4 symbols. Welds shown on the drawings are the minimum sizes. Increase weld size to AWS minimum sizes, based on plate thickness. Minimum welding shall be 3/16" UNO. All welds shall be made using low-hydrogen electrodes with minimum tensile strength of 70 ksi and a Charpy V-Notch (CVN) toughness of at least 20 foot-pounds at -20 degrees Fahrenheit.

Welding procedures shall be submitted to the owner's testing agency for review prior to commencement of fabrication or erection. Field welds shown are engineer's recommendation. Contractor is responsible for actual welds used to support specific means and methods.

S1.0
S1.1
S2.0
S2.1
S2.2
S2.3
S3.0
S3.1
S3.2
S3.3
S3.4

Reinforcing steel shall conform to ASTM A615 (including supplement S1), Grade 60, Fy = 60,000 psi, except any bars specifically so noted on the drawings shall be Grade 40, Fy = 40,000 psi.

Welded Wire Reinforcing (WWR) shall conform to ASTM A185. Lap splice adjacent mats of welded wire fabric a minimum of 8" at sides and ends. In equipment pads, use minimum WWR 6x6-W2.1xW2.1, UNO.

Reinforcing steel shall be detailed (including hooks and bends) in accordance with ACI 315 "Details and Detailing of Concrete Reinforcement". Lap all reinforcement in accordance with "The Reinforcing Splice and Development Length Schedule" on these documents. If table is not provided, lap all reinforcing by 40 bar diameters. Provide corner bars at all wall and footing intersections.

Reinforcing steel shall be adequately supported to prevent displacement during concrete and grout placement. Bars shall be bent cold. Bars partially embedded in concrete shall not be field bent, unless specifically so detailed or approved by the SER.

A. Participation in the AISC guality certification program.

mber_	ASTM Specification	Fy
Flange Shapes	A 992	_
nnels, Angles	A-36, Grade 36	36 ksi
ectangular HSS Section	A-500, Grade B	46 ksi
s (Hooked, Headed & Threaded & Nutted)	F-1554, Grade 36	36 ksi
ods	A-36	36 ksi
	F-436	
	A-563	
olts	A-307, Grade A	

The contractor shall be responsible for all erection aids and joint preparations that include, but are not limited to: erection angles, lift holes, and other aids; welding procedures; required root openings; root face dimensions; groove angles; backing bars; copes; surface roughness values; tapers of unequal parts.

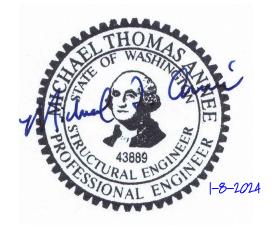
All ASTM A-307 bolts shall be provided with lock washers under nuts or self-locking nuts.

All welding shall be in conformance with AISC and AWS standard and shall be performed by AWS/WABO certified welders in accordance with AWS D1.1. Only Prequalified welders, defined by AWS, shall be used.

- **General Structural Notes** General Structural Notes and Schedules Foundation Plan Main Floor Framing Plan Upper Floor Framing Plan Roof Framing Plan Structural Details Structural Details Structural Details Structural Details Structural Details
- SHEET INDEX



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Revision Issue Date Drawing Set

1/8/2024 Permit Set

General Structural Notes

S1.0

Shop Painting

All steel to be shop primed. All other steel shall be given one coat of shop paint, in accordance with Section 1.24 of the AISC "Specification" and Section 6.5 of the AISC "Code", unless noted otherwise. Structural joints and faying surfaces which are to be connected by means of welds or bolts shall not be painted until all welds and bolts are installed, inspected and approved.

The terms finish, finish column, finishing, milled, milled surface or milling are intended to include surfaces which have been accurately sawed or finished to a true plane as defined by AISC. Grind surface value equal to or less than 1,000 as defined by ANSI B46.2 (4-inch and thinner).

Wood

Material Criteria Framing lumber shall be kiln dried or mc-19 (unless more stringent criteria are required in these notes or on the drawings) and graded and marked in conformance with the latest WCLIB standard grading rules for west coast lumber no. 17. Furnish to the following minimum standards:

	DE #2
4x beams & posts	DF #2
6x beams & posts	DF #1
4x treated beams & posts, 6x treated posts	HF kdat #2
2x joists, rafters, built-up beams, headers	HF #2
2x flatwise & edgewise blocking	HF standard
2x studs	HF kd stud
2x plates	HF kd15 standar
2x treated plates/ledgers	HF kdat #2

Moisture Content and Care of Material During Construction

All 2x studs and plates shall be kiln dried. The Contractor shall take measures to minimize exposure of sawn lumber and engineered wood products to moisture during construction. Excessive changes in moisture content during construction may result in swelling and shrinkage of a single story level in the magnitude of 1/2".

Wood Structural Panels

Wood structural panels shall be APA rated sheathing. Plywood shall be grade C-D or Structural II, exterior glue, exposure 1 durability classification, in conformance with USDOC PS 1 or PS 2, ASTM D 5457 and IBC 2304.7 and table 2304.7(2). Oriented strand board (OSB), shall be in accordance with USDOC PS 2, and of equivalent thickness, exposure rating and span rating and may be used in lieu of plywood pending OSB substitution approval by Architect. See plans for thickness, panel identification index and nailing requirements. Unless otherwise noted on plans:

Roof sheathing shall be 15/32" with span rating 32/16 Floor sheathing shall be 23/32" with span rating 48/24 Wall sheathing shall be 15/32" with span rating 24/0

Plywood Web Joists

Prefabricated plywood web joist design shown on plans is based on ILevel/Trus-Joist products manufactured by the Weyerhaeuser Corporation. Alternate plywood web joists must have equivalent section properties & allowable stresses to those specified to be considered and are subject to review and approval by the Architect and SER. Alternate joist hangers and other hardware may be substituted for items shown provided they have ICC approval for equal or greater load capacities. All joist hangers, hardware shall be compatible in size with plywood web joist provided. All necessary bridging, blocking, blocking panels, stiffeners, etc., shall be detailed and furnished by the manufacturer. The following deflection criteria shall be maintained:

Floor live load deflections shall be limited to span/480 (span/360 at 100 psf live load). Roof total load deflections shall be limited to span/240.

Specified plywood web joists at floors have been designed for a minimum TJ-Pro rating of 40 in addition to the maximum allowable deflections noted above.

Structural Composite Lumber

Manufactured lumber, PSL, LVL, and LSL, shall be manufactured under a process approved by the national research board. Each piece shall bear a stamp or stamps noting the name and plant number of the manufacturer, the grade, the national research board number, and the quality control agency. All PSL, LVL and LSL lumber shall be manufactured in accordance ICC Report ESR-1387. LVL lumber shall be manufactured using veneer glued with a waterproof the requirements of ASTM D2559 with all grain parallel with the length of the member. The members shall have the following minimum properties:

PSL (2.2E)	Beams	Fb = 2,900 psi,	E = 2,200 ksi,	Fv = 290 psi
LVL (2.0E)	Beams	Fb = 2,600 psi,	E = 2,000 ksi,	Fv = 285 psi
LSL (1.55E)	Beams	Fb = 2,325 psi,	E = 1,550 ksi,	Fv = 310 psi

Design shown on plans is based on ILevel/Trus-Joist products manufactured by the Weyerhaeuser Corporation. Alternate manufacturers may be used subject to review and approval by the Architect and Structural Engineer of Record, alternate joist hangers and other hardware may be substituted for items shown provided they have ICC approval for equal or greater load capacities. All joist hangers and other hardware shall be compatible in size with members provided.

Glu Laminated Material

Glued laminated members shall be fabricated in conformance with AITC 117 and APA-EWS Y117, Stress Class 24F-1.8E. Each member shall bear an AITC identification mark and shall be accompanied by an AITC certificate of conformance. All simple span beams shall be douglas fir combination 24F-V4, fb = 2,400 psi, fv = 265 psi and all cantilevered beams and columns shall be Douglas fir combination 24F-V8, fb = 2,400 psi, fv = 265 psi unless otherwise noted. Camber all simple span glu laminated beams to 3,500' radius or zero

Treated Wood

All wood framing in direct contact with concrete or masonry, exposed to weather, or that rest on exterior foundation walls and are located within 8" of earth, shall be pressure-treated with an approved preservative per IBC section 2303.1.8. Cut or drilled sections of treated material shall be treated with an approved preservative per IBC section 2303.1.8. See IBC section 2304.11 for additional requirements.

Metal Products in Contact with Treated Lumber

camber, unless shown otherwise on the plans.

Simpson hardware in contact with ACQ, CA, or CBA pressure-preservative treated wood shall have a Zmax finish (G185 HDG per ASTM A653) or shall be post hot-dip galvanized (per ASTM A123 for connectors and ASTM A153 for fasteners) unless otherwise noted. Exception: type 304 or 316 stainless steel connectors and fasteners are required for the following applications:

- ACQ, CA, or CBA treatments with ammonia where members are used in exterior applications.
- all ACZA treatments - retention levels greater than 0.40 pcf for ACQ, 0.41 pcf for CBA-A, or 0.21 pcf for CA-B treatments.

Stainless steel connectors require matching stainless steel fasteners. Zmax and post hot-dip galvanized connectors require fasteners galvanized per ASTM A153. Thru-bolts and anchor rods used in dry conditions shall be permitted to be of mechanically deposited zinc coated steel with coating weights in accordance with ASTM B 695, class 55 minimum. See IBC section 2304.9.5 and "framing connectors" notes on this sheet for additional requirements.

Framing Connectors

Timber connectors called out by letters and numbers shall be "strong-tie" by Simpson company, as specified in their catalog number C-C-2021. Equivalent devices by other manufacturers may be substituted, provided they have ICBO approval for equal or greater load capacities. Provide number and size of fasteners as specified by manufacturer. Connectors shall be installed in accordance with the manufacturer's recommendations. Where connector straps connect two members, place one-half of the nails or bolts in each member. All bolts in wood members shall conform to ASTM A307. Provide washers under the heads and nuts of all bolts and lag screws bearing on wood. Unless otherwise noted, all nails shall be as called out below. Unless otherwise noted on the drawings use the following hangers:

GENERAL STRUCTURAL NOTES (TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS)

- 2x or 2-2x member to flush wood beam/led 2x member to sill plate or steel/flush wood 2-2x member to sill plate or steel/flush woo TJI member to flush wood beam/ledger 2-TJI member to flush wood beam/ledger TJI member to sill plate or steel/flush wood 2-TJI member to sill plate or steel/flush woo 4x, LSL/LVL/PSL beam to flush wood beam, 4x, LSL/LVL/PSL beam to sill plate or steel Interior 4x or 6x post to concrete below Treated 4x or 6x post to concrete below
- 4x or 6x post to wood beam above wood beam to wood beam that bears on po

Steel to wood or wood to wood connection be Anchor rods (w/ threaded ends & welded nut) Lag screws Wood screws Nails

Nail sizes are specified as follows. If the contractor proposes the use of alternate nails, they shall submit

Simpson hardware MSTC holdown straps direct to str MSTC holdown straps over shear CS collector straps hangers w/ 16d or 10d options floor sheathing roof sheathing stud wall APA sheathing member to member face nailing hottom plate to framing below		see catalog 0.148 x 1-1/2" 0.148 x 2-1/4" 0.131 x 2-1/2" 0.162 x 3-1/2" 0.131 deformed shank x 2-1/2" 0.131 x 2-1/2" 0.148 x 2-1/4" 0.131 x 3" 0.131 x 3"
-		•
	c/p.cc. cc	•••••

Sheathing fasteners shall be driven so that head or crown is flush with sheathing surface. 3/8" min. edge distance shall be maintained on sheathing fasteners.

Spaced fasteners specified on the drawings shall begin at 1/2 specified spacing from the ends of the members, unless otherwise noted. Provide (2) fasteners minimum each member, typ. Anchor rods from sill plates to concrete shall begin a min. of 6" and a max. of 12" from each end of each piece of sill plate. Thru-bolt and anchor rod holes shall be at least 1/32" but no more than 1/16" larger than bolt/rod

diameter. Clearance holes for lag screw shanks shall have the same diameter as the lag shank and the same penetration depth as the length of the unthreaded shank. Lead holes for threaded portion of lag screws shall have a diameter of 55 to 60% of lag screw shank diameter and shall extend the length of the threaded portion of the lag screw.

Stair and Stair Landing Framing Requirements 4'-0" maximum width UNO

Landings: span 2x6 joists @ 16"oc in short direction of landing. At full height wood studs, provide 2x6 continuous ledger w/ (3) 0.131 x 3-1/4" nails to each stud. At concrete walls, provide treated 2x6 continuous ledger w/ 5/8" diameter anchor rods @ 16"oc. Embed 5". Where landing edge is not supported by beam, full height stud wall, or full height concrete wall, provide 2x4 @ 16" cripple wall from landing edge to slab on grade below.

Stringers 9'-0" in length or less: provide 2x12 stringers at center and sides of stair. Notch to 5-1/2" minimum depth and provide HUS26 hangers to supporting beams. At center stringer, sister 2x6 ea. side of stringer and at side stringers, sister 2x6 one side of stringer. End sistered 2x6's short of hangers. Stringers 11'-6" to 14'-0" in length: provide 1-3/4 x14 LVL 1.9E stringers at center and sides of stair. Notch to 8" minimum depth and provide HU7 hangers to supporting beams. At center stringer, sister 2x8 ea. side of stringer and at side stringers, sister 2x8 one side of stringer. End sistered 2x8's short of hangers.

Where stringers bear on top of wood floor framing below, provide (2) LS70 clip at bottom of stringer. Where stringers bear on concrete slab, provide 2x treated sill plate w/ 5/8" exp. bolt at each stringer (embed 3-1/8").

General Wood Framing Criteria (UNO in previous sections) All wood framing details not shown otherwise shall be constructed to the minimum standards of section 2308 of the IBC. Minimum nailing, unless otherwise noted, shall conform to table 2304.9.1 of the IBC. Unless otherwise noted, all nails shall be common. Coordinate the size and location of all openings with Mechanical and Architectural drawings. Provide washers under the heads and nuts of all bolts, anchor rods, and lag screws bearing on wood, unless otherwise noted. Installation of lag screws shall conform to NDS section 11.1.3. Bolts, anchor rods, and lag screws shall be centered in members, uno.

All structural stud walls (bearing or shear walls) shown and not otherwise noted shall be 2x4 studs @ 16"oc at interior walls and 2x6 @ 16"oc at exterior walls. See Architectural drawings for differing wall widths and for framing at nonstructural walls. Two studs minimum shall be provided at the end of all walls and at each side of all openings, and below beam bearing points. Solid blocking for 4x/6x wood posts and multi-stud posts shall be provided through intermediate levels to supports below. Provide continuous solid blocking at mid-height of all stud walls over 10'-0" in height and at mid-height of walls with sheathing on one side only (i.e. Each side of party walls).

All stud walls shall have their lower wood plates attached to wood framing below with $0.131 \times 3-1/4$ " nails @ 8"oc or bolted to concrete with 5/8" diameter anchor rods @ 6'-0"oc for structures not exceeding 2 stories and @ 4'-0" for all other structures unless otherwise noted. Embed anchor rods 7" unless otherwise noted. Individual members of built-up posts shall be nailed to each other with 0.131 x 3" nails @ 8"oc staggered.

Refer to the plans and shear wall schedule for required sheathing and nailing. When not otherwise noted, provide gypsum wallboard on interior surfaces nailed to all studs, top and bottom plates and blocking with nails at 7" oc. Use #6 x 1-5/8" screws for 1/2" GWB and #6 x 1-7/8" screws for 5/8" GWB. Provide 15/32" APA rated sheathing on exterior surfaces nailed at all panel edges (block unsupported edges), top and bottom plates with 0.148 x 2-1/4" nails @ 6"oc and to all intermediate studs and blocking @ 12"oc. Allow 1/8" gap at all APA sheathing panel edges and ends. (see details where larger gap is required)...

At exterior walls, provide flat wise 2x6 at all door heads and window sills and heads, unless otherwise noted. (provide flat wise 2-2x6 where opening width is greater than 6'-0" and less than 9'-6", unless otherwise noted). Provide (3) 0.131 x 3" toenails each end of each 2x6 member.

Provide double joists under all parallel partitions that extend over more than half the joist length and around all openings in floors or roofs unless otherwise noted. Provide solid blocking at all bearing points.

To enail joists to supports with $(3) 0.131 \times 3$ " nails. Attach timber joists to flush headers or beams with Simpson metal joist hangers in accordance with notes above. Individual members of multi-joist beams shall be nailed to each other with (2) rows of 0.131 x 3" nails @ 12"oc.

Unless otherwise noted on the plans, APA sub-flooring and roof sheathing shall be laid up with grain (strength axis) perpendicular to supports (joists, trusses, etc.) and in a staggered pattern. Nails shall be @ 6"oc to framed panel edges, @ 4"oc over shear walls and @ 12"oc to intermediate supports. See notes above for nail sizes. All sub-flooring edges shall have approved tongue-and-groove joints or shall be supported with solid blocking/framing. Plywood clips are recommended at all roof sheathing edges (solid blocking/framing is not required at panel edges unless specifically noted in the structural drawings ore required by the roofing manufacturer). Glue sub-flooring to all supports with adhesive conforming to APA spec. AFG-01 in accordance with the manufacturer's recommendations. Allow 1/8" gap at all panel edges and ends of floor and roof sheathing. Where blocked floor and roof diaphragms are indicated, provide flat 2x blocking at all unframed panel edges and nail with edge nailing specified.

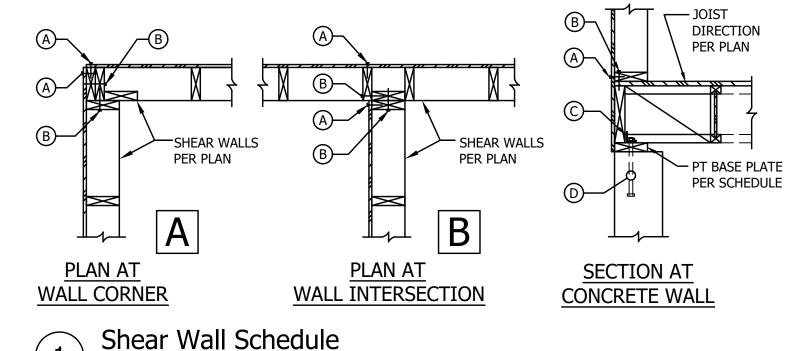
dger	LUS
l beam	LB
od beam	В
	ITS
	MIU
d beam	ITS
ood beam	MIT
n/ledger	MIU max
beam	HWU
	ABU w/ 5/8" dia. anchor rod w/ 7" embed
	CBSQ-SDS2HDG
	PC/EPC
ost	HUCTF

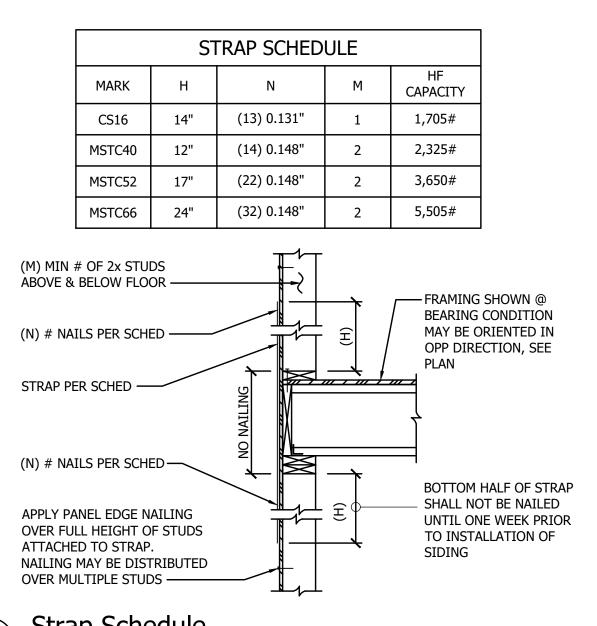
Shall conform to the following requirements, UNO. Splitting shall be avoided at all wood fasteners:

olts	ASTM A307
t)	ASTM F1554 grade 36 (typical UNO)
	NDS section 11.1.3
	NDS section 11.1.4
	NDS section 11.1.5

nail specifications to the Structural Engineer of Record (prior to construction) for review and acceptance.

	SHEAR WALL SCHEDULE						
	PANEL TOP O	MUDSILL TO C		C			
MARK	SHEATHING	EDGE A	PLATE B NAILING	A35 C CLIPS	2x6 P.T.	3x6 P.T.	SEIS
SW6	½" PLYWOOD	0.131" @ 6"oc	0.131" @ 6"oc	A35 @ 24"oc	5⁄8"Ø AB @ 48"oc	5⁄8"Ø AB @ 64"oc	22
SW4	½" PLYWOOD	0.131" @ 4"oc	0.131" @ 4"oc	A35 @ 16"oc	5⁄%"ø AB @ 32"oc	5⁄8"ø AB @ 48"oc	32
SW3 ⁵	½" PLYWOOD	0.131" @ 3"oc	0.131" @ 3"oc	A35 @ 12"oc	5⁄%"ø AB @ 16"oc	5⁄8 "ø AB @ 32"oc	41
SW2 ⁵	½" PLYWOOD, DOUG-FIR	0.131" @ 2"oc	(2) ROWS 0.131" @ 3"oc	A35 @ 7"oc	5⁄8"ø AB @ 16"oc	5⁄8" ø AB @ 16"oc	60
SW2* ⁵	½" OSB/STRUCT-I, DOUG-FIR	0.148" @ 2"oc	(2) ROWS 0.131" @ 3"oc	A35 @ 6"oc	5⁄%"ø AB @ 12"oc	5⁄8" ø AB @ 16"oc	60





Strap Schedule

3/4" = 1'-0"

HOLDOWN SCHEDULE 1 2											
MARK	FASTENERS	м (3)	FOOTING / STRUCTURAL SLAB				TOP OF				
			ANCHOR ROD	EMBEDMENT	EDGE DISTANCE	CAPACITY	ANCHOR ROD	EMBEDMENT			
									CONTINUOUS		
HDU2	(6) SDS¼"x2½"	3"	5∕8"Ø	6"	8"	2,645#	SB ⁵ / ₈ x24	18"			
HDU8	(20) SDS ¹ / ₄ "x2 ¹ / ₂ "	4x6 DF	7∕8"ø	9"	14"	7,870#	SB ⁷ / ₈ x24	18"	7,870#		

(1) PLACEMENT OF ANCHOR ROD IS BASED ON CAST-IN-PLACE INSTALLATION.

(2) INSTALL ALL HOLDOWNS PER MANUFACTURER'S INSTRUCTIONS.

- (3) DEPTH OF WOOD FRAMING MEMBER ATTACHED TO HOLDOWN. MEMBERS SHALL BE HEM-FIR UNLESS NOTED OTHERWISE NOTED.
- (4) MIN 6" CONCRETE WALL THICKNESS REQ'D, MIN EDGE DISTANCE OF $1\frac{3}{4}$ ".
- (5) BASED ON MIN 27" DISTANCE FROM END/CORNER OF WALL.
- (6) BASED ON MIN 4¹/₄" DISTANCE FROM END OF WALL.
- (7) AT RETROFIT CONDITIONS USE $\frac{5}{8}$ " THREADED ROD w/ EPOXY PER GENERAL STRUCTURAL NOTES, MIN. 12" EMBED. 1"Ø EPOXY RODS REQUIRE 20" EMBEDMENT.

Holdown Schedule

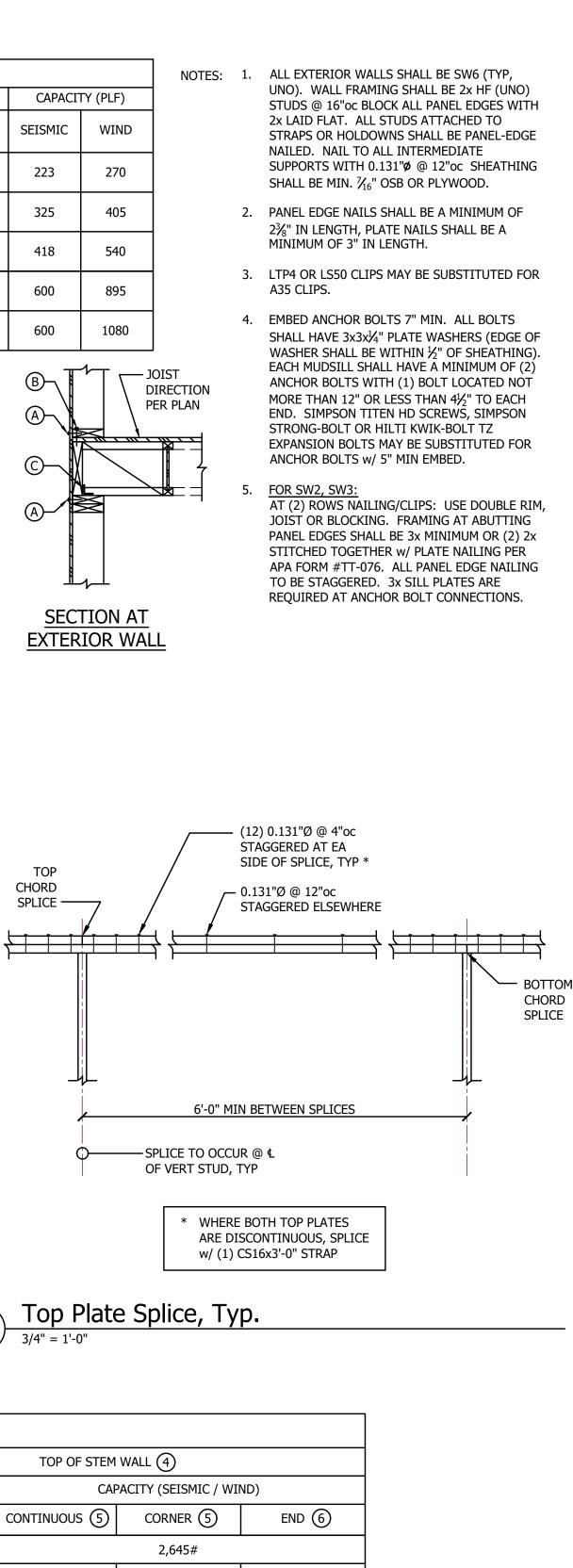
SHEAR WALL PER PLAN -

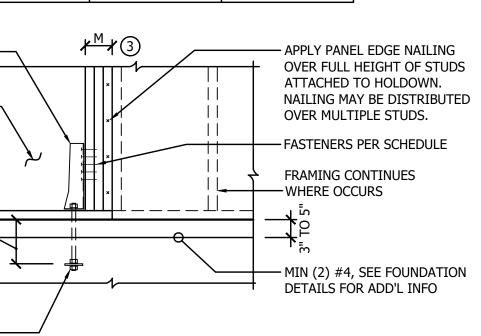
HOLDOWN PER PLAN-

TOP OF CONC FDN

EMBEDMENT PER SCHEDULE

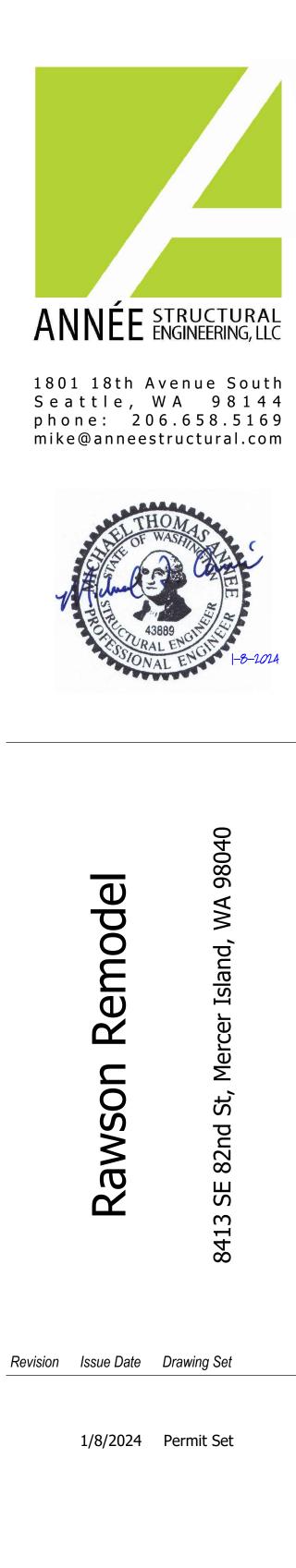
(7) ANCHOR ROD PER SCHEDULE, AT FOOTING OR THICKENED SLAB ALL-THREAD w/ NUT-WASHER-NUT MAY BE INSTALLED AS SHOWN -





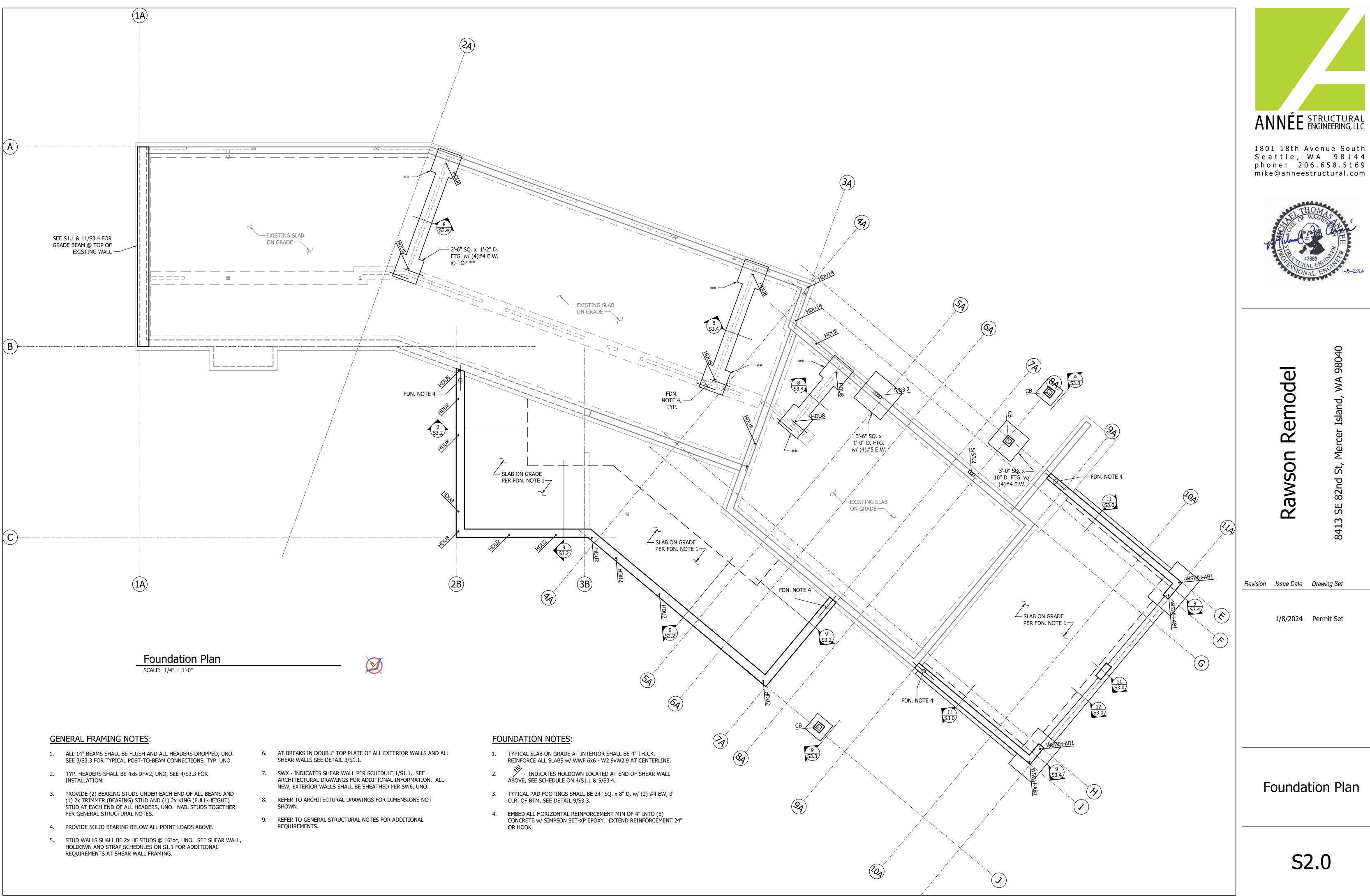
5,730# / 6,820#

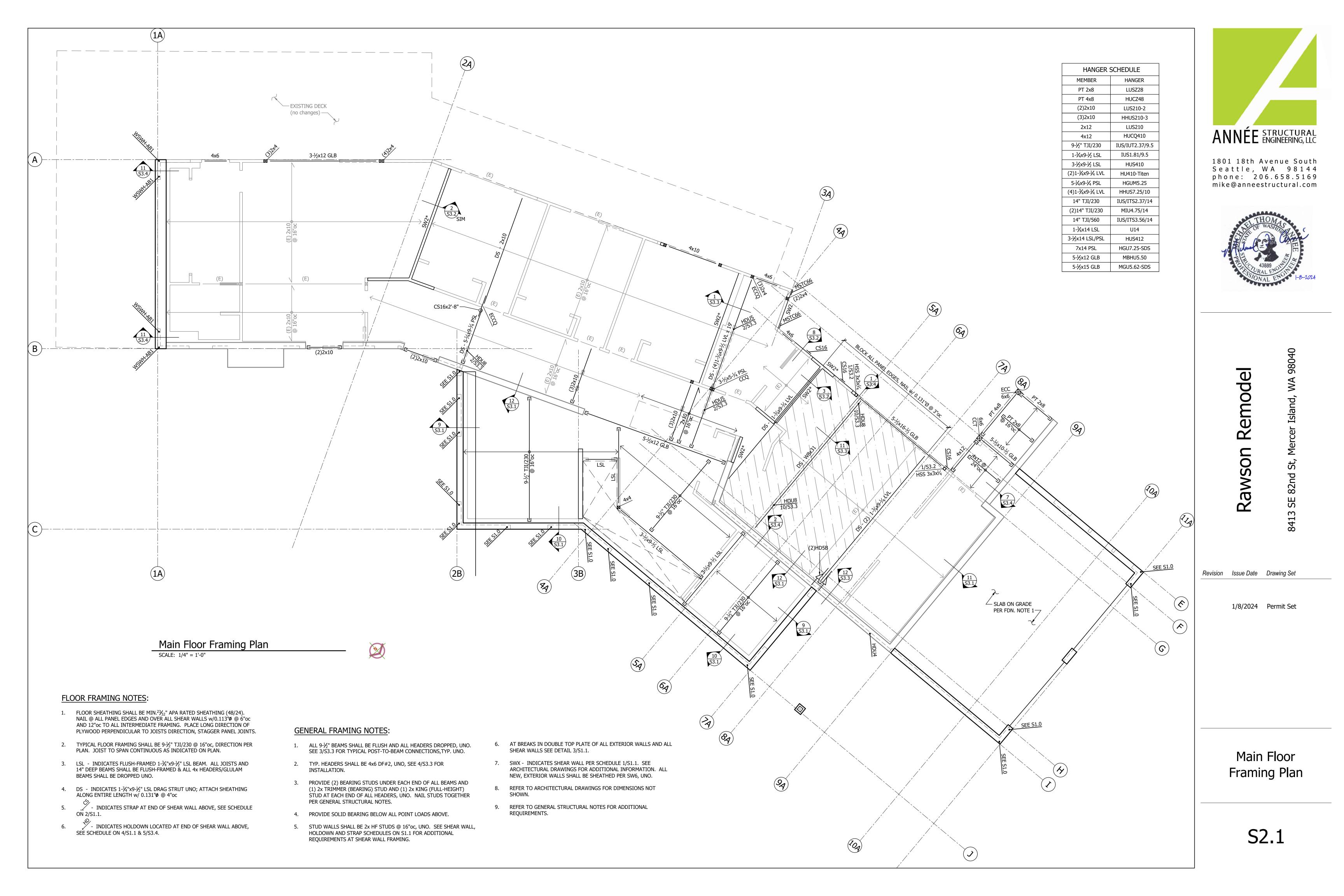
7,855# / 7,870#

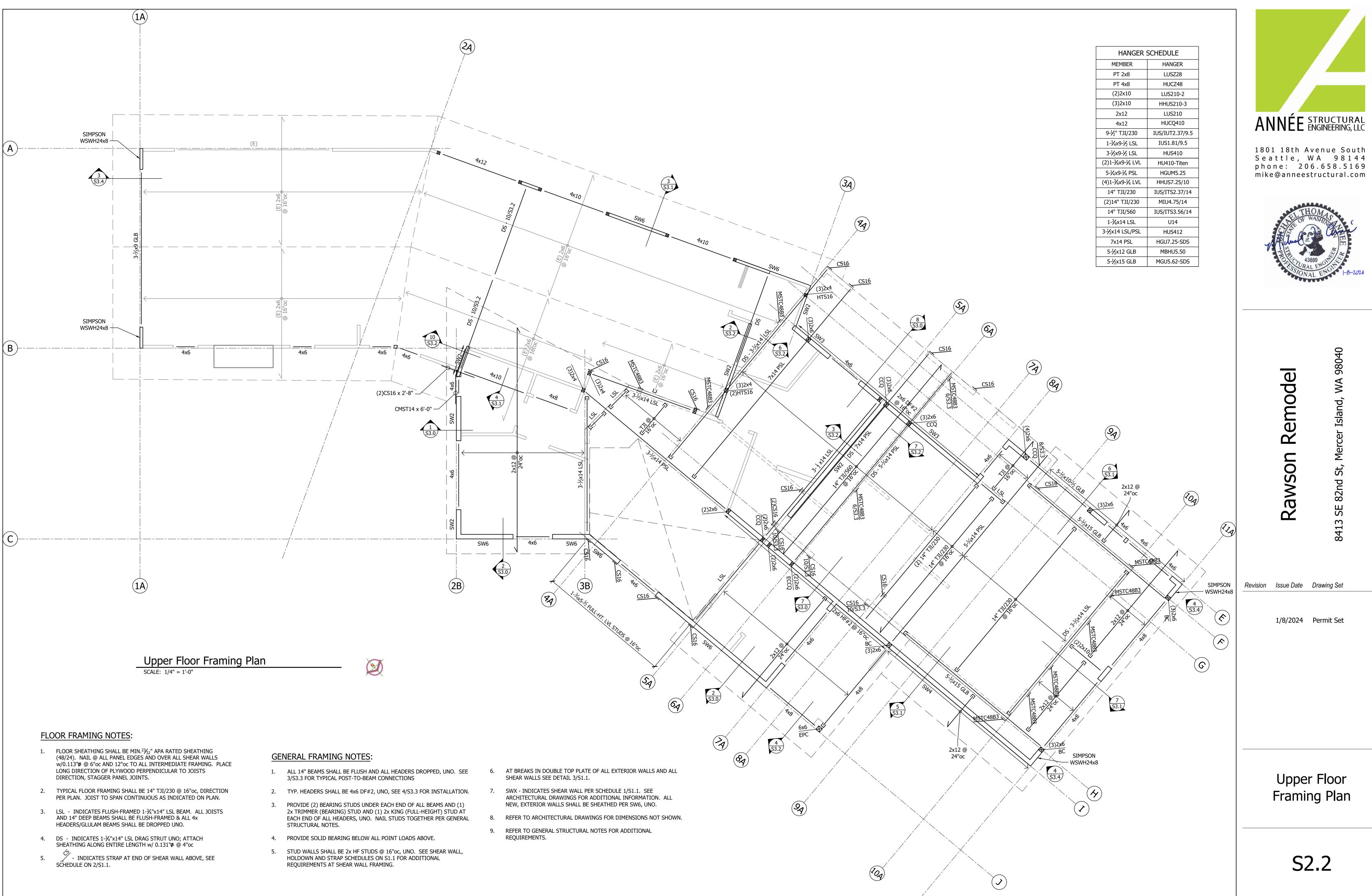


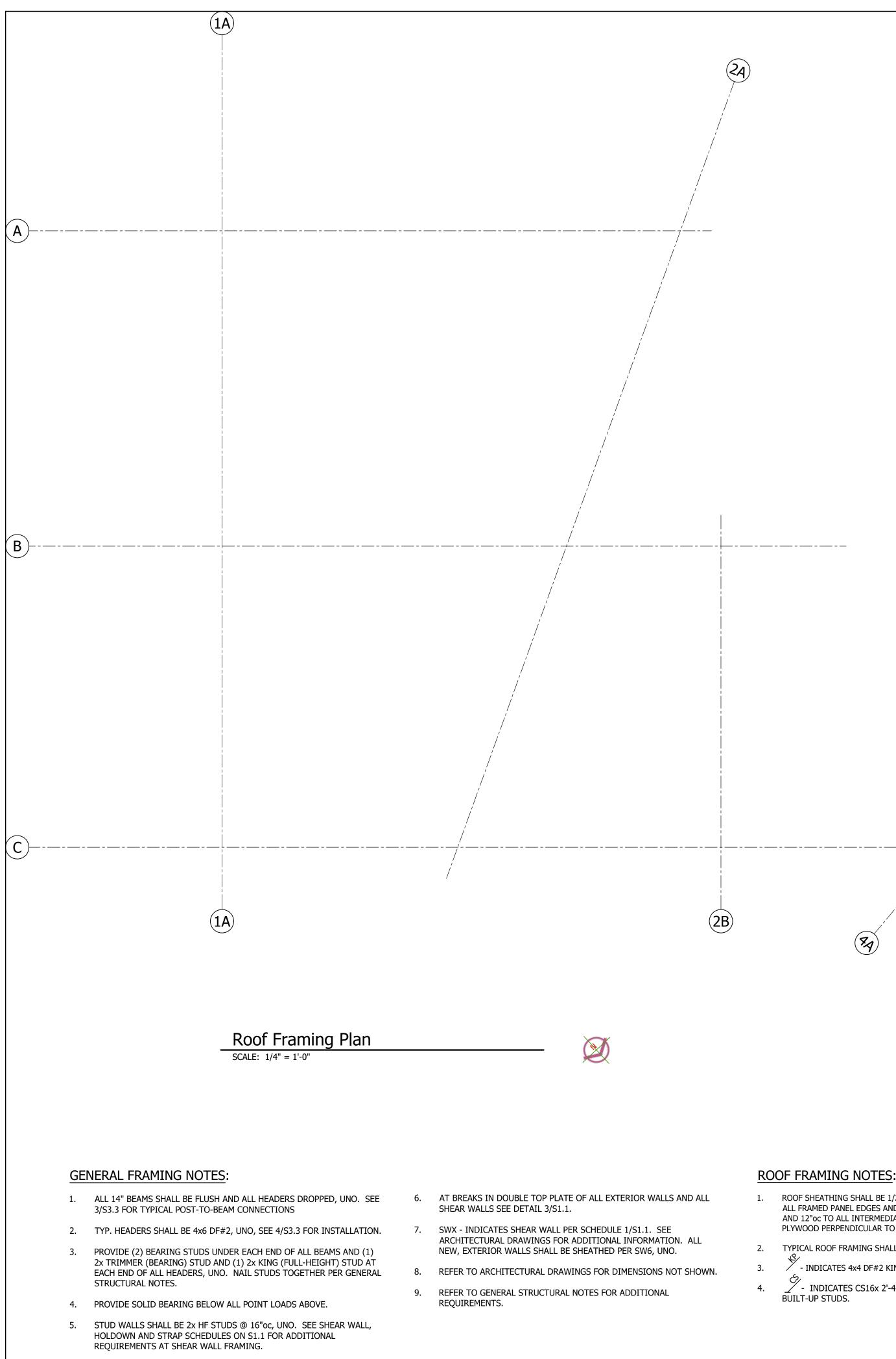
General Structural Notes & Schedules

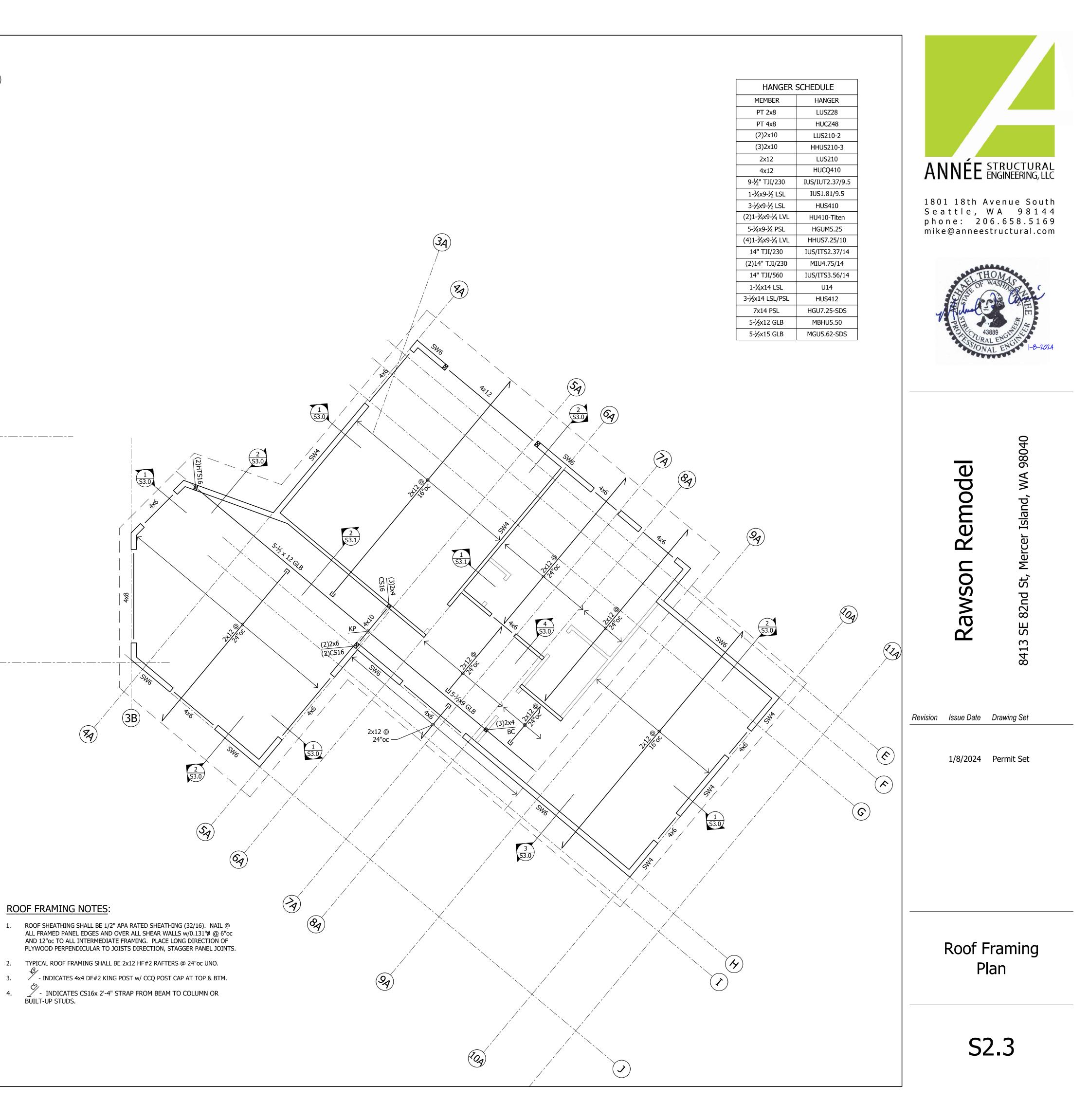
S1.1

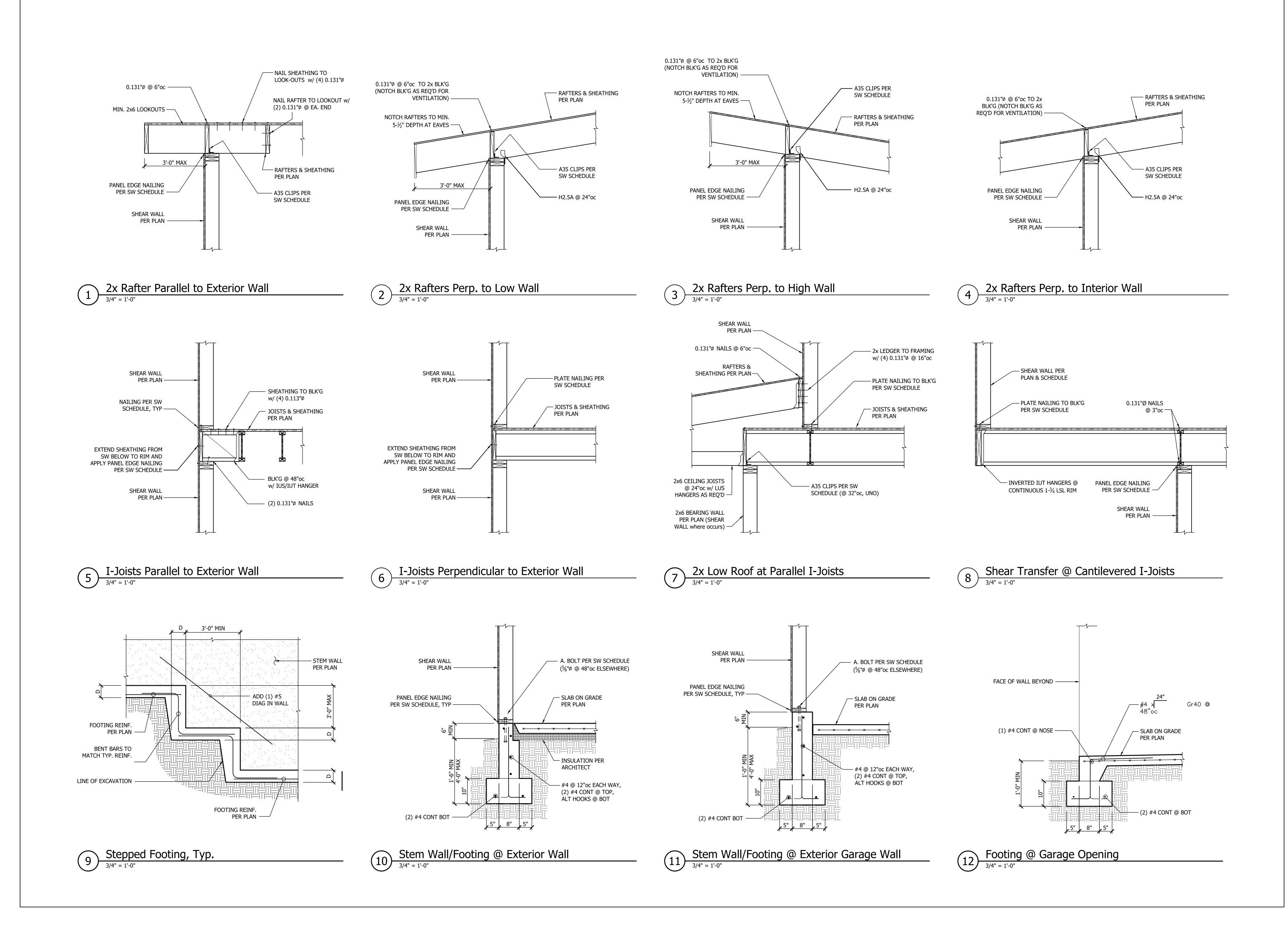


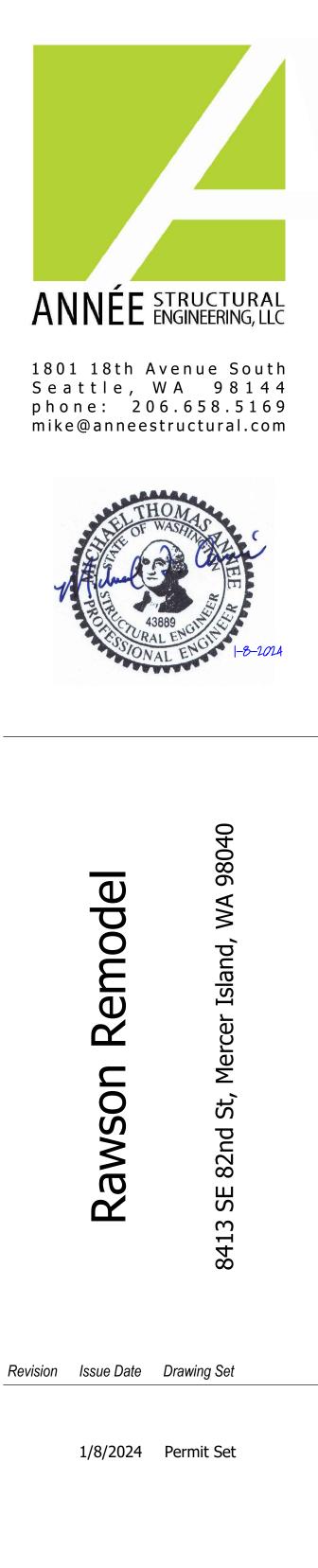




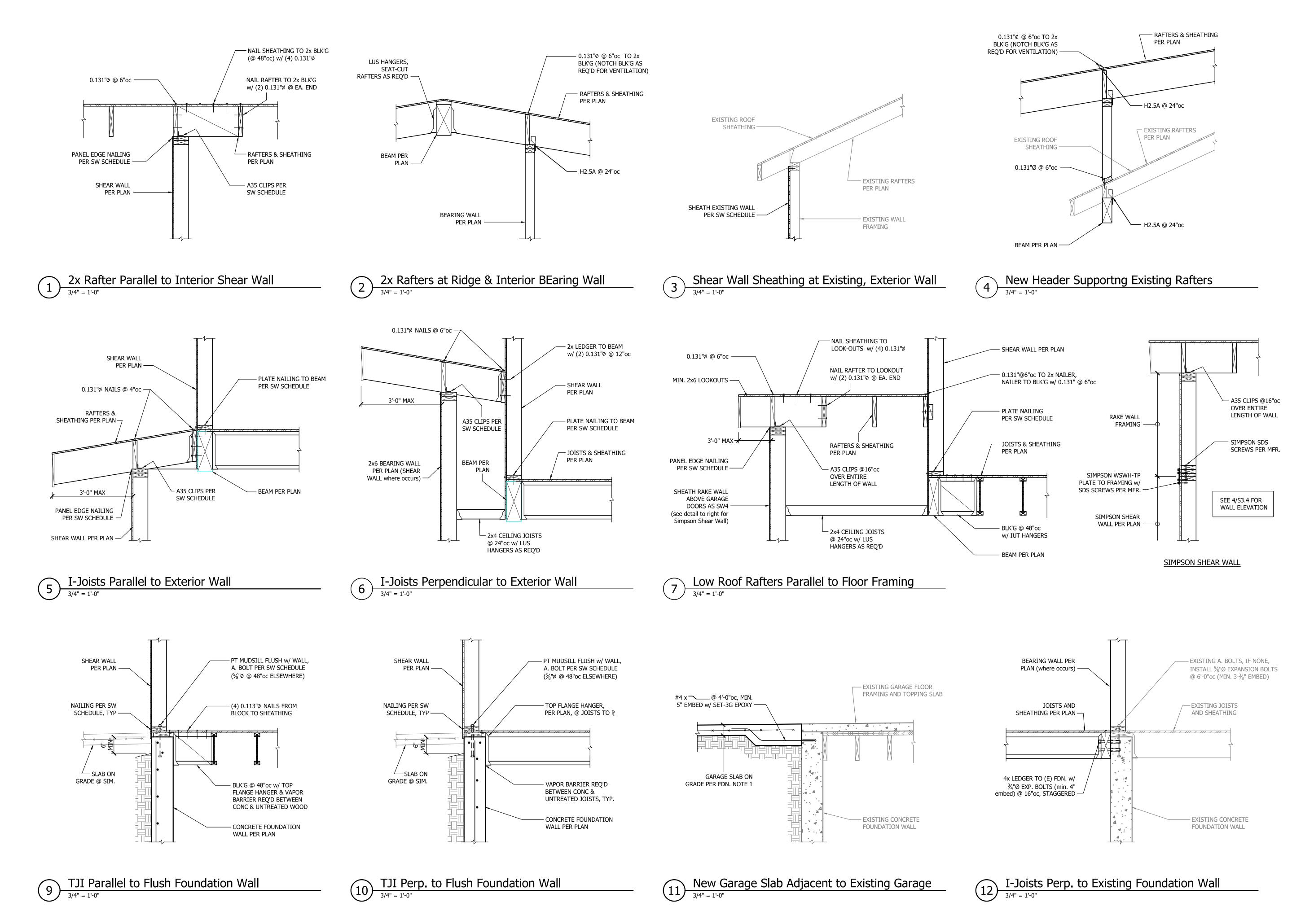


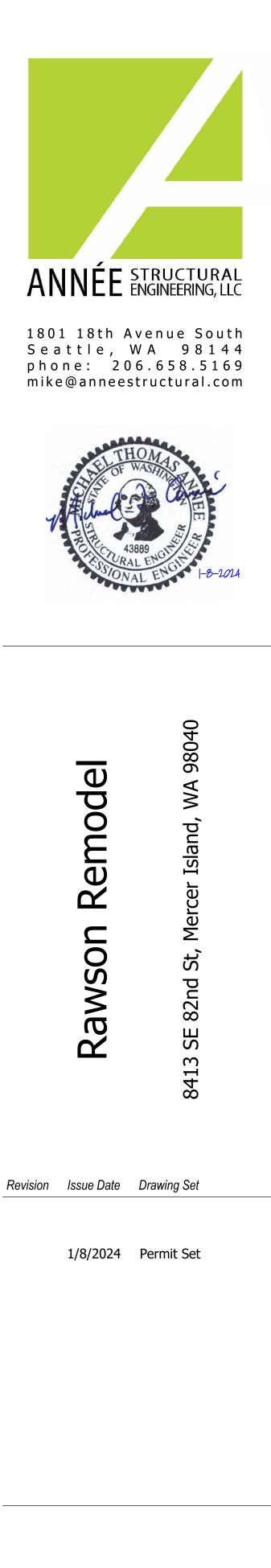




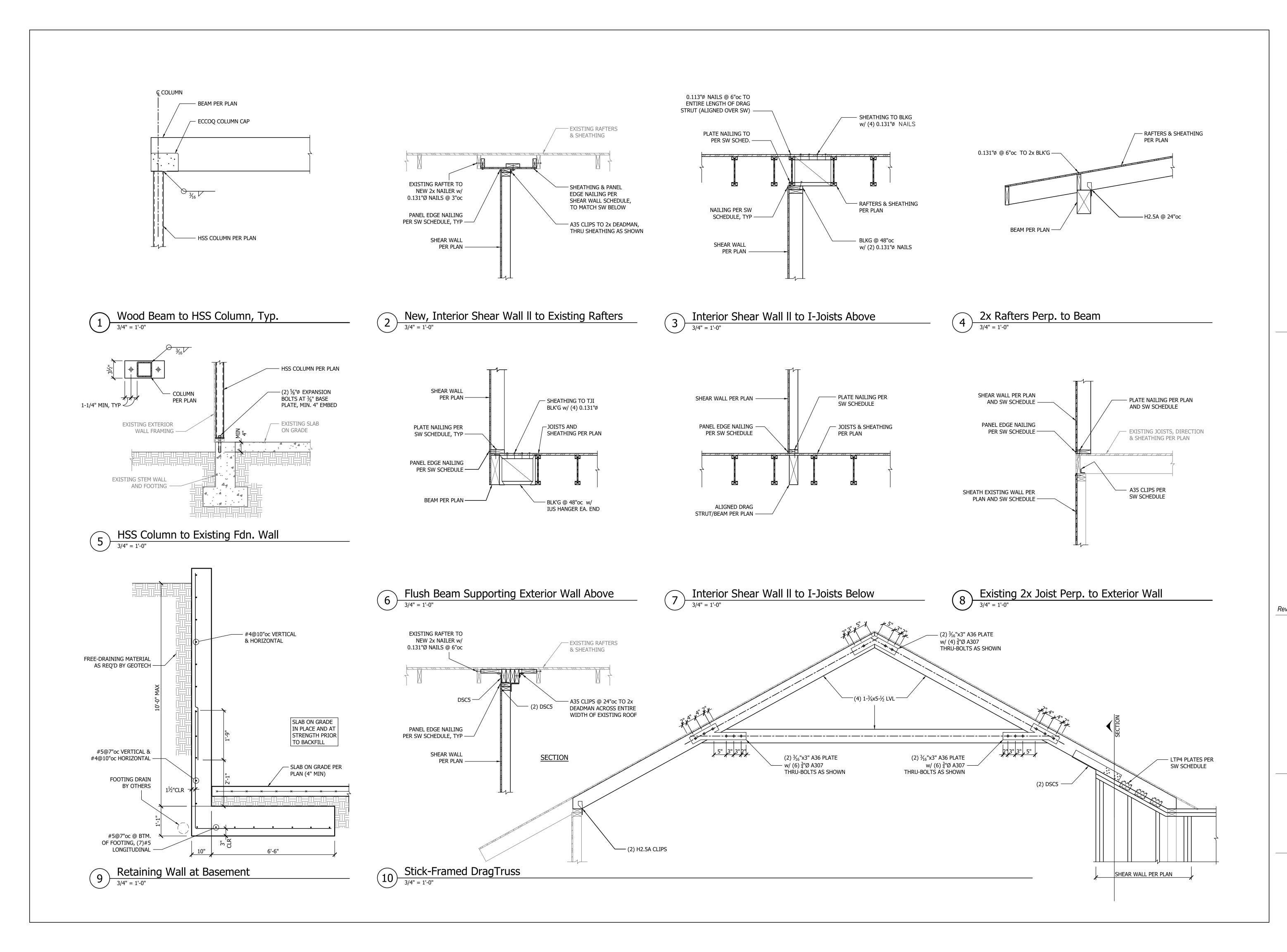


Structural Details

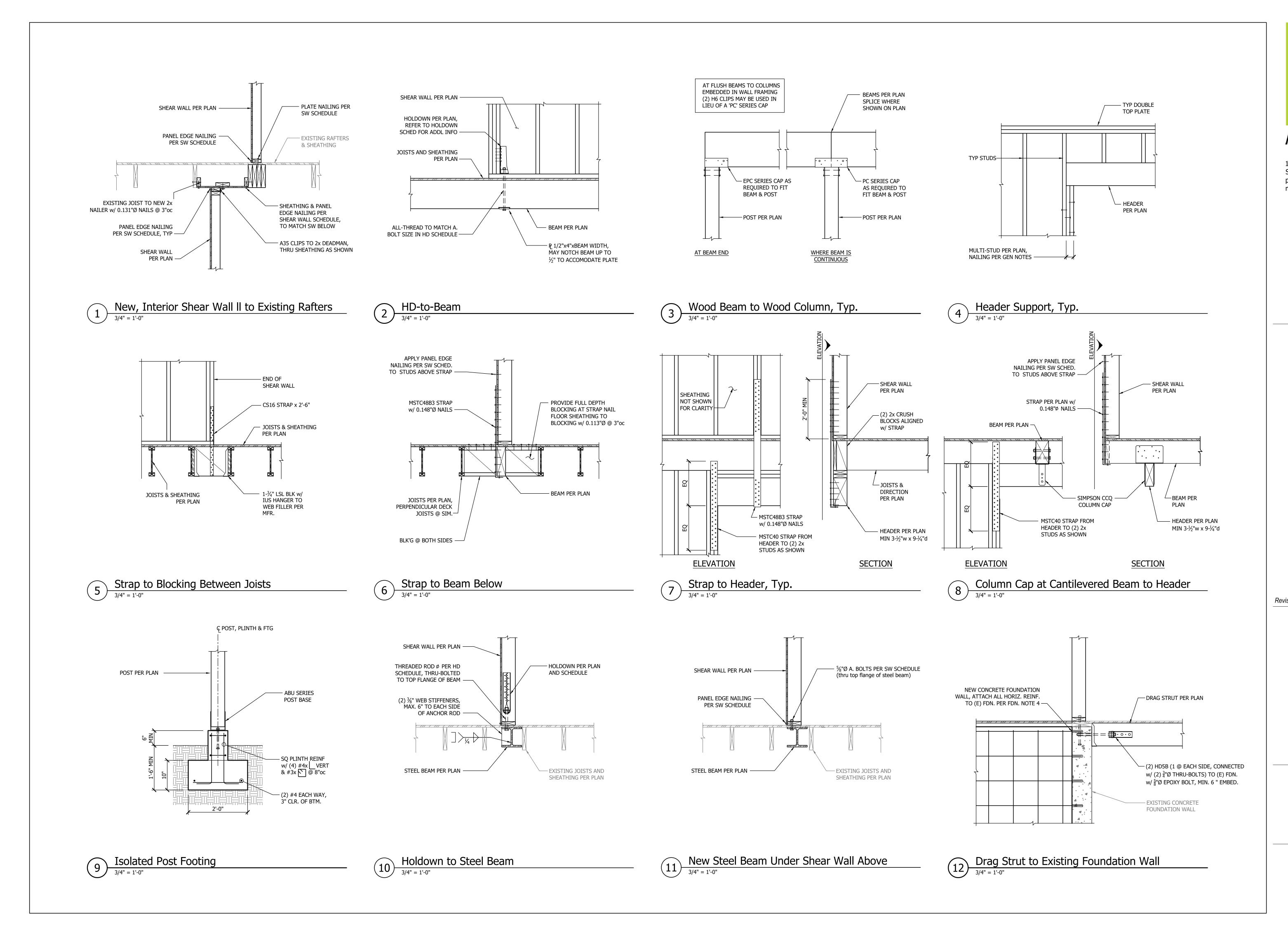


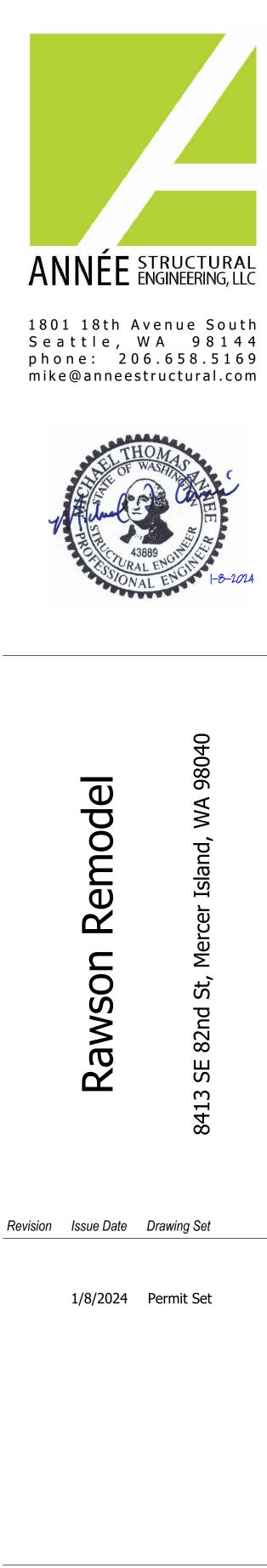


Structural Details

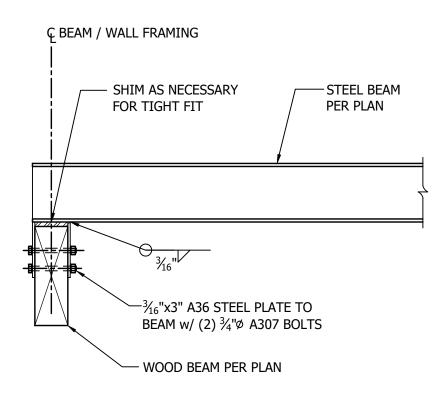


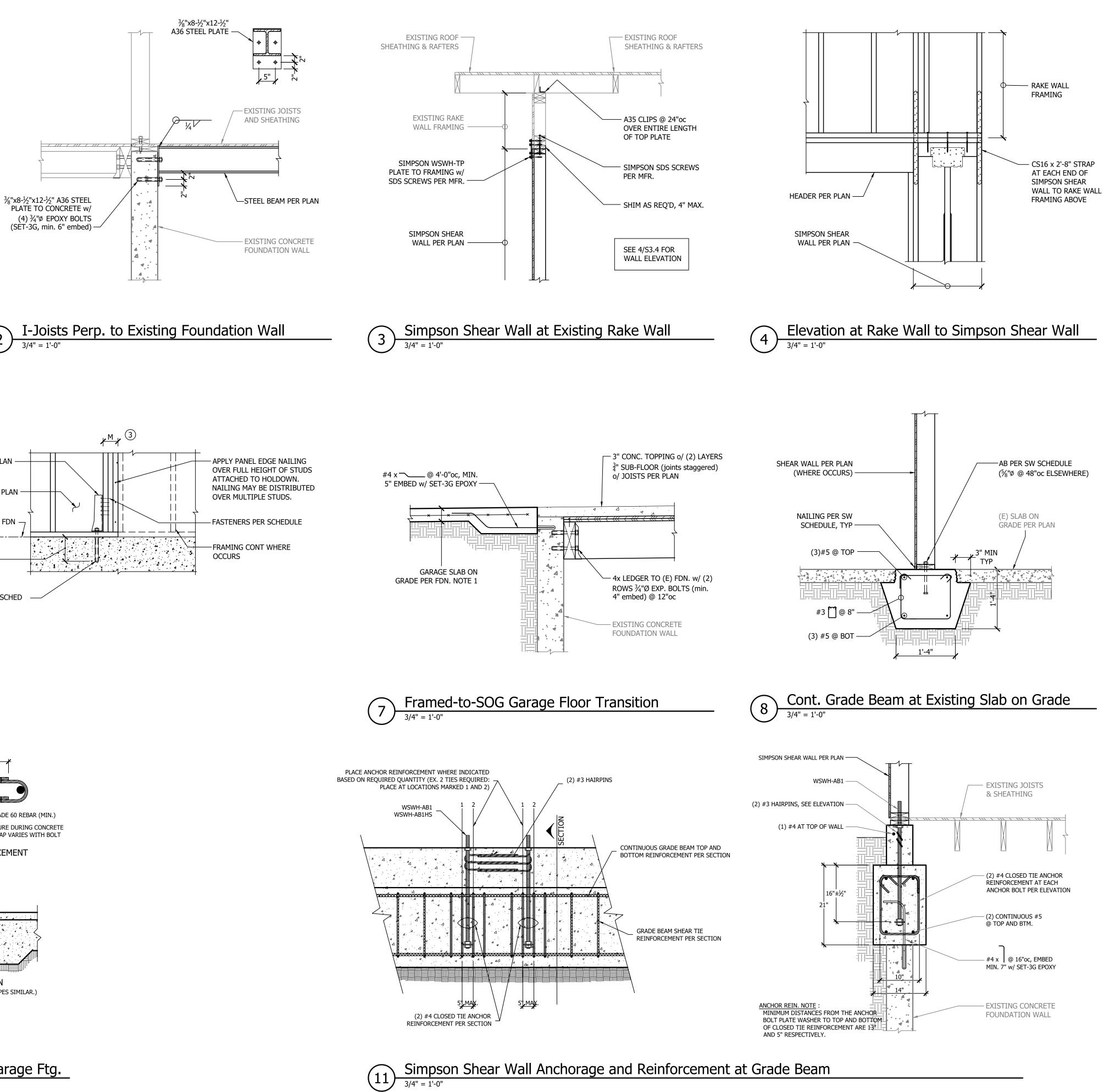


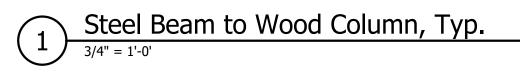




Structural Details

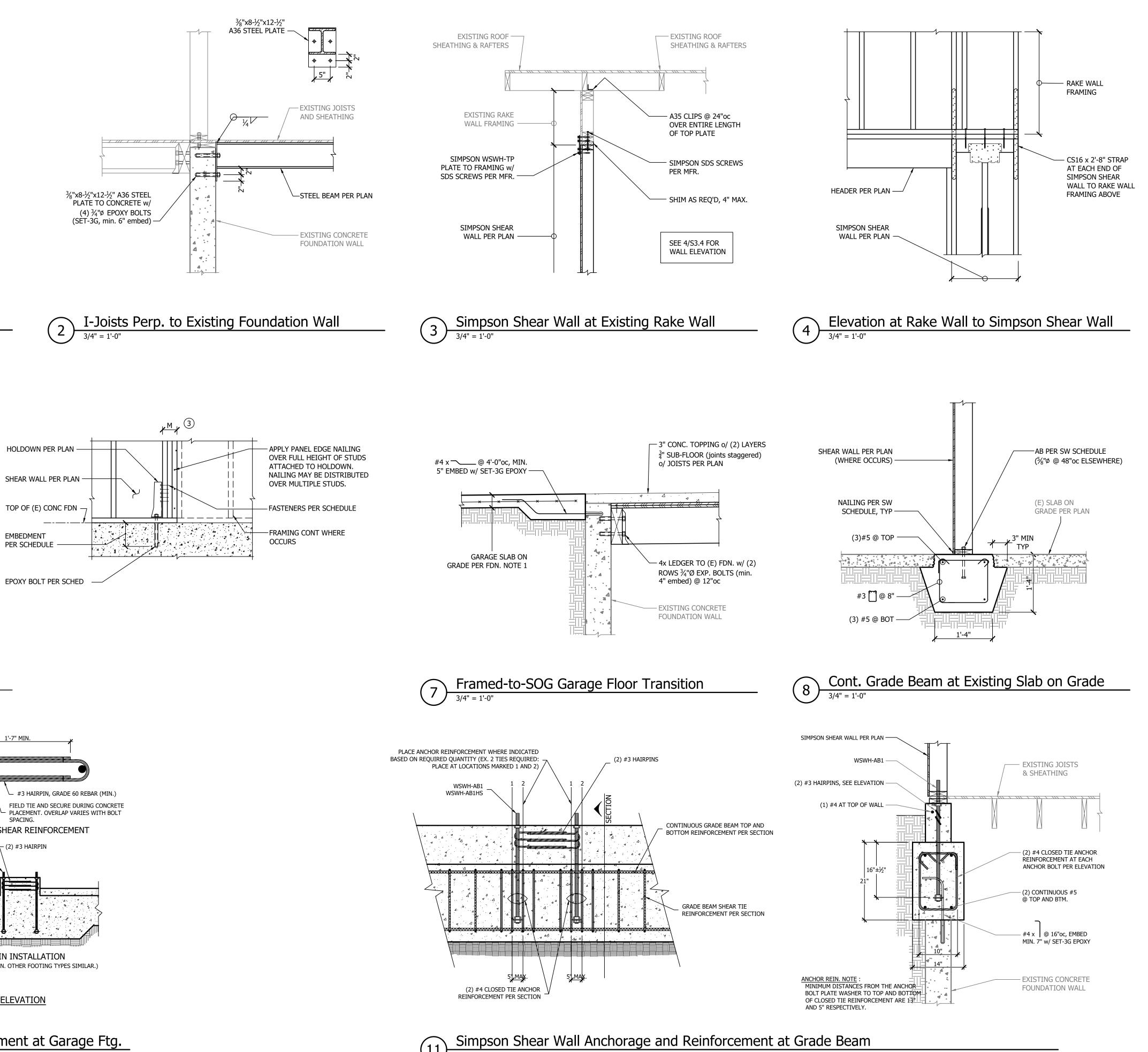








HOLDOWN SCHEDULE 124											
			WALL								
MARK	FASTENERS	М (3)	ANCHOR ROD	EMBEDMENT	EDGE DISTANCE	CAPACITY					
HDU8	(20) SDS ¹ / ₄ "x2 ¹ / ₂ "	4x6	7∕8"ø	16"	3"	7,870#					
HDU14	(36) SDS ¹ / ₄ "x2 ¹ / ₂ "	4x8	1"ø	20"	3"	12,375#					

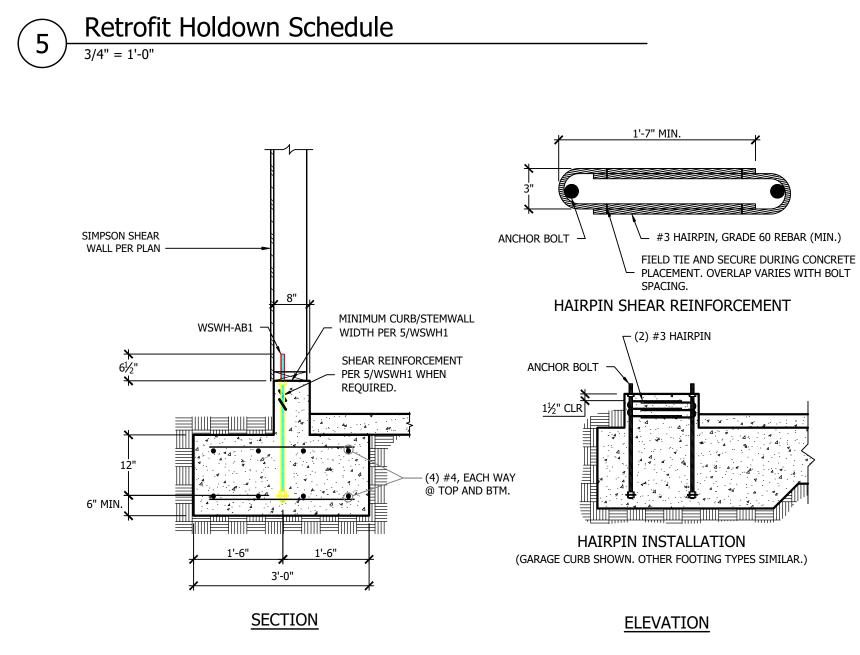


PLACEMENT OF ANCHOR ROD IS BASED ON SIMPSON SET-XP EPOXY.

INSTALL ALL HOLDOWNS AND EPOXY PER MANUFACTURER'S INSTRUCTIONS.

(3) DEPTH OF WOOD FRAMING MEMBER ATTACHED TO HOLDOWN. MEMBERS SHALL BE HEM-FIR UNLESS NOTED OTHERWISE NOTED.

(4) MIN 6" CONCRETE WALL THICKNESS REQUIRED.



9 Simpson Shear Wall Anchorage and Reinforcement at Garage Ftg. $\frac{3}{4''} = 1'-0''$



Structural Details